

A woman in athletic wear is walking a light-colored dog on a leash along a paved path. In the background, a large, ornate stone archway features the text 'RANCHO SAHUARITA' in a serif font. The archway is flanked by two towers and has decorative elements, including a central diamond-shaped emblem and small blue-tinted rectangular features. The scene is set in a desert environment with saguaro cacti and green trees under a clear sky.

RANCHO
SAHUARITA

RANCHO SAHUARITA SPECIFIC PLAN
AUGUST 2025

RANCHO SAHUARITA SPECIFIC PLAN

July 9, 1996
*Revised August 1997, November 2002, October 2003, April 2006, April 2009, February 2010,
September 2010, July 2014, January 2016, July 2018, September 2020, January 2022,
May 2024, August 2025*

Prepared For:
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P.A.S.T.

GALLAGHER & KENNEDY

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I. STATEMENT OF FINDINGS

A. Introduction:

Rancho Sahuarita is a planned community comprised of residential, commercial, park industrial and recreational activity. Located within the Town of Sahuarita in southeastern Pima County, the approximately 3,084-acre site straddles Interstate 19 and Helmet Peak/Sahuarita Road. The Specific Plan area is nine miles south of the City of Tucson, and one mile south of the San Xavier Indian Reservation. Tucson International Airport is approximately 11 miles northeast of the site. (See Exhibit IA.1: Regional and Vicinity Map.)

The Specific Plan project area includes portions of T16S, R13E, Sections 35 and 36, and T17S, R13E, Sections 1, 11, 12, 13, 14, and 23. The Pima County Assessor tax parcel numbers are indicated in Appendix A and the Legal Description is provided in Appendix B.

The availability of suitable land and accessibility to transportation corridors will attract Pima County's growing population to Rancho Sahuarita. Rancho Sahuarita is readily accessible via existing and proposed roadways. Currently, access is available from Interstate 19 and the Old Nogales Highway via Helmet Peak/Sahuarita Road. The site is also accessible via Sahuarita, Twin Buttes, and El Toro Roads. The northern portion of the site will ultimately be accessible from Pima Mine Road.

This Plan focuses on optimizing the site by creating recreation, in addition to coordinating a mix of housing products, densities, a Town Center (which will furnish all Sahuarita area residents with a social and cultural core), public service, and regional centers. The community will provide the vitality for a high quality of life. Development will be balanced with natural open space and public recreational amenities. The Town Center and adjacent employment areas will reduce the need for excessive travel and provide opportunities for alternative transportation modes.

Responsible planning will be insured through the adoption of a development control mechanism which reflects thorough and comprehensive land use planning. These controls include the flexibility to anticipate and adequately adapt to future needs.

Rancho Sahuarita is environmentally suitable for development. The parcel is relatively flat with no major geologic formations on site. There are no species of wildlife designated as threatened or endangered by the Federal

Government and the site vicinity supports only one plant species listed as endangered.

The Rancho Sahuarita Specific Plan is consistent with the Town of Sahuarita Zoning Code. This Specific Plan will provide needed zoning and regulatory guides. A development agreement between the Town and Master Developer will also be approved in conjunction with this Specific Plan. Elements of that agreement also address the impact of existing and future ordinances on this property.

B. Plan Objectives

The Rancho Sahuarita Specific Plan seeks to recognize major development issues and the landowners' goals within the Town of Sahuarita's requirements. The Rancho Sahuarita Specific Plan seeks:

1. To implement the goals and policies of the Town of Sahuarita;
2. To meet overall Town of Sahuarita objectives for specific plans by:
 - Creatively combining the elements of various Town of Sahuarita regulations into one document that ensures sensitivity to environmental characteristics;
 - Providing for a mix of residential types within a master planned area and guaranteeing design standards necessary to meet the unique needs of the site;
 - Creating a complete package of regulations for land use, signage, roads, landscaping, trails and recreational features which will provide an identifiable community within the overall context of the larger area.
3. To provide an infrastructure system and public facilities phased to support development in an efficient and timely manner;
4. To provide design guidelines to establish a framework for a comprehensive and aesthetic community plan which will retain lasting values and quality of life over the years;

C. Alternate Planning Tools

The Rancho Sahuarita Specific Plan establishes a flexible and cost effective framework for development of this property. The Specific Plan is the only planning tool capable of maintaining the structure of the Town of Sahuarita's regulations while allowing the flexibility to respond to future development conditions. The Specific Plan allows development regulations, and design guidelines which are compatible with the Town of Sahuarita Development Code, to insure quality, coordinated development.

Traditional zoning does not promote coordinated development, nor does it provide any flexibility to responsively adapt to future community needs or market conditions. Conventional zoning categories apply to the entire city and can be less appropriate than a detailed Specific Plan designed for the site and surrounding land uses.

D. Plan Consistency

This plan is consistent with the Pima County Comprehensive Plan which has been adopted as the interim general plan by the Town of Sahuarita.

E. Zoning Code Consistency

The Rancho Sahuarita Specific Plan is consistent with the Town of Sahuarita Zoning Code regarding relative importance of surrounding private and public interests. These interests include homeowners to the east, south and west, as well as adjacent Sahuarita Schools. The Town of Sahuarita has recently adopted zoning ordinances. This Specific Plan can provide needed zoning and regulatory guides that supplement these ordinances.

F. Community Benefits

The Specific Plan will enhance the broad-based planning efforts in the region and should increase surrounding property values by providing homes priced at or above comparable values in the general area. Creating a quality recreational facility and improving the overall street and utility infrastructure will enhance property values on and off-site. It will also address long-range community goals regarding

Regional & Vicinity Map

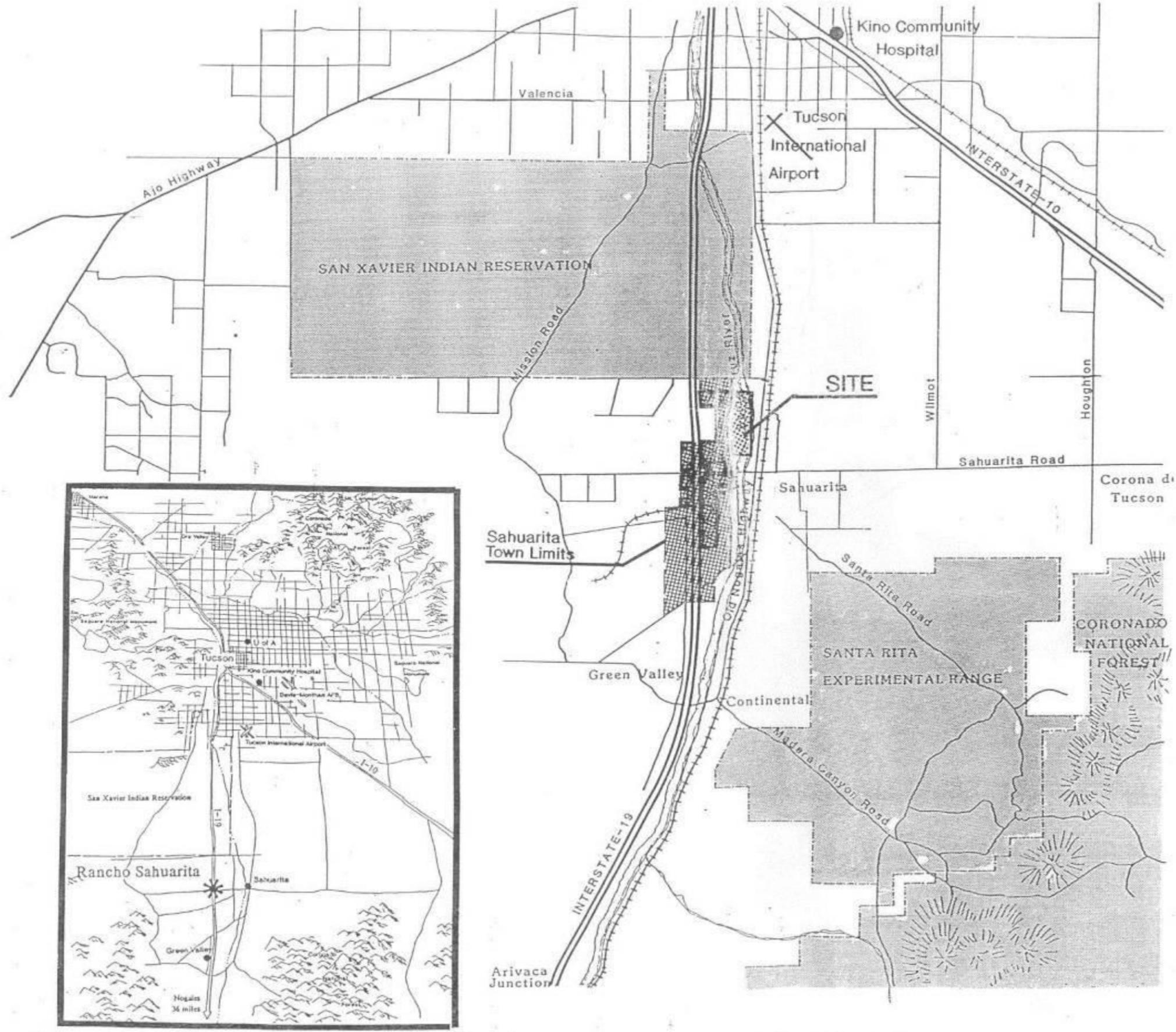


EXHIBIT I-A.1
Regional & Vicinity Map

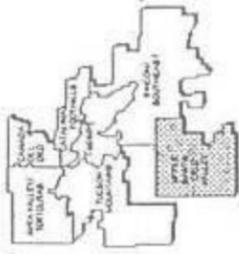


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RANCHO SAHUARITA

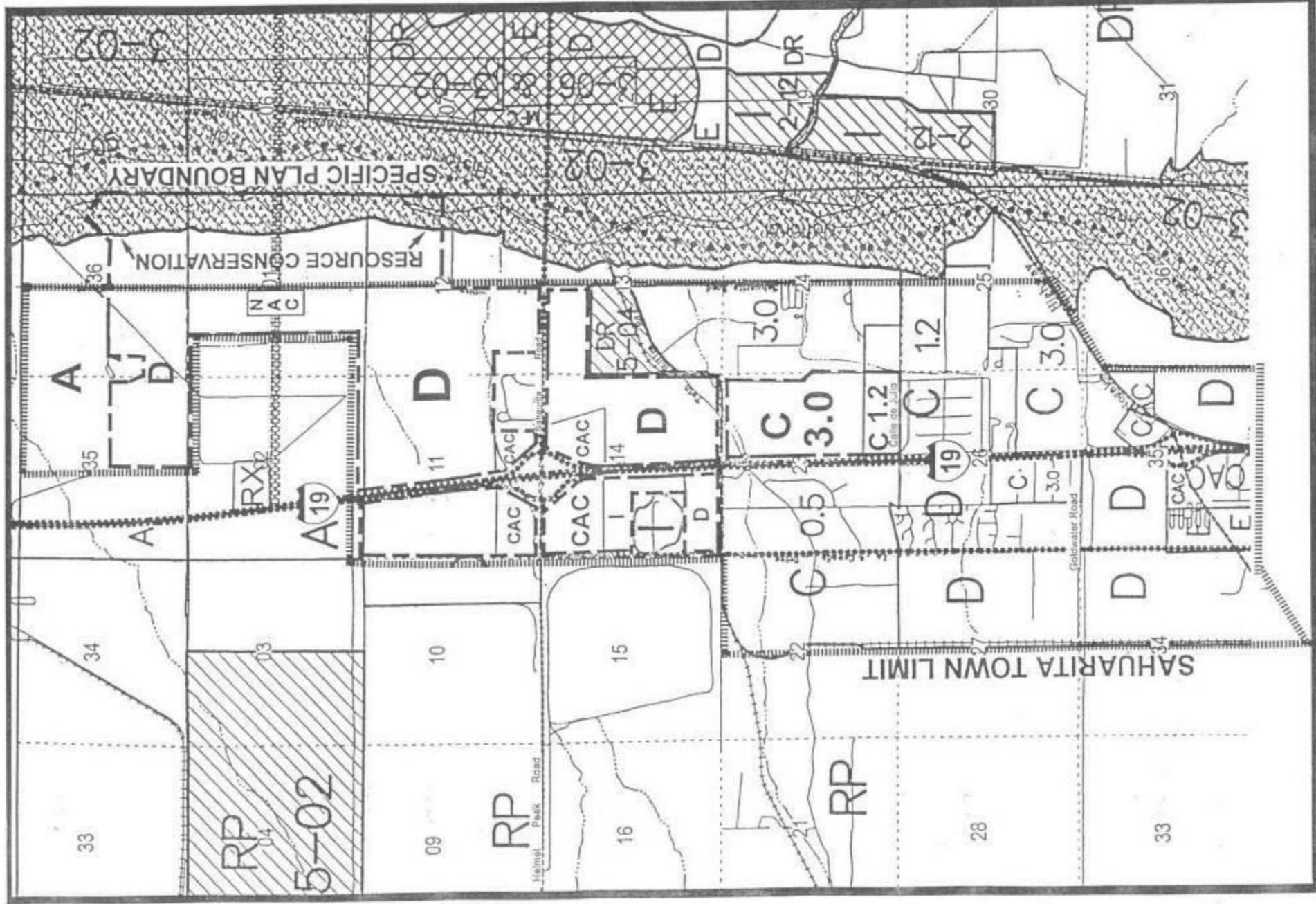
S A H U A R I T A A R I Z O N A

Pima County Comprehensive Plan



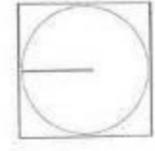
LEGEND

UPPER SANTA CRUZ VALLEY SUBREGION



PLANNED LAND USE	
Refer to Comprehensive Plan Land Use Intensity Legend	
URBAN INTENSITY CATEGORIES	<ul style="list-style-type: none"> REAC Regional Activity Center CAC Community Activity Center RAC Neighborhood Activity Center MFC Multifunctional Corridor F High Intensity Urban E Medium High Intensity Urban D Medium Intensity Urban C-3.0 Low Intensity Urban 3.0 RAC C-1.2 Low Intensity Urban 1.2 RAC C-0.5 Low Intensity Urban 0.5 RAC C-0.3 Low Intensity Urban 0.3 RAC
RURAL INTENSITY CATEGORIES	<ul style="list-style-type: none"> RUAC Rural Activity Center RX Rural Crossroads B Medium Intensity Rural A Low Intensity Rural RT Resource Transition DR Development Reserve
URBAN AND RURAL INTENSITY CATEGORIES	<ul style="list-style-type: none"> HI Heavy Industrial I Urban Industrial RP Resource Productive Resource Conservation
BASEMAP FEATURES	<ul style="list-style-type: none"> Subregional Boundary Sections Roads Rivers and Major Washes Incorporated Areas
SPECIAL AREAS	<ul style="list-style-type: none"> Refer to Comprehensive Plan Regional and Special Area Plan Policies Special Areas Multiple Special Areas Specific Plans Trail Access Special Area 3-05 Rural Equestrian Routes and National Historic Trail Special Area 3-09
MAJOR ROADWAY NETWORK FOR YEAR 2015	<ul style="list-style-type: none"> Projected from Pima Association of Governments Regional Transportation Plan Freeways and Major Arterials Minor Arterials

EXHIBIT I-D.1
Pima County
Comprehensive Plan



THE
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110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701-6203-6146

Revised 8/2002

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transportation, school sites, concentration of recreational activities, and waste water treatment. Extensive planning and development is underway in the region with planned communities such as Continental Farms and Green Valley to the south, and Corona de Tucson and Santa Rita Ranch to the east. The proposed uses within this Specific Plan will provide needed long range residential and recreational opportunities for the Town of Sahuarita.

The share of the tax supported cost of public services for the Specific Plan area shall be effectively reduced. This development will pay its fair share of all necessary public improvements. Its approval will lock in a long term public and private commitment to a regional growth scenario.

The Sahuarita/Upper Santa Cruz Valley area is experiencing rapid growth and will continue to do so for some time. The area is not impacted by the constraints of piecemeal development. This plan will set the trend towards more precise planning, integrating all development components into a comprehensive, phased package. It will contribute to upgrading regional facilities as well as assuring a long term commitment to a designated set of uses.

As the population in southern Pima County increases, the demand for housing and services increase. The community's needs will be met with this residential development which includes a town center, schools, commercial facilities, recreation center and related amenities. This plan will provide for the long term needs of the increasing population as well as assure that the community will be built out as planned.

G. Context Compatibility:

The Rancho Sahuarita Specific Plan is a project which addresses present and future growth in southern Pima County and provides the framework for appropriate land uses and the provision of needed services. The plan provides for sensitivity to the region, the neighborhood, and the site.

Many of the properties in the immediate area are in the initial planning phases of development. Undeveloped State land adjoins the property to the west. The property to the north is privately held and undeveloped. Properties to the east, south and southwest include single family residences. Existing zoning in the area is Rural Residential, Rural Homestead, and Suburban Ranch.

H. Environmental Suitability:

The Specific Plan area is environmentally suitable for development. The area is characterized as typical Arizona Upland - Sonoran Desert. The major plant community is the Palo Verde-Cacti-Mixed Shrub series. Portions of the site are within the Class II Palo Verde-Saguaro Sonoran Desert Community according to Shaw's 1986 study, *Critical and Sensitive Biological Communities Study and Map*. The site vicinity is known to support one plant species listed as endangered.

There are no known species of wildlife designated as threatened or endangered by the Federal Government, although habitats in the vicinity may support two species listed as federal Category 2 Candidate species.

The parcel is relatively flat, gradually sloping eastward to the Santa Cruz River. There are no major geologic formations on site.

Archaeological surveys of portions of the site indicate isolated areas of cultural remains. Mitigation measures may include on-the-ground exploration or preservation in place.

The visual environment contains long range views of the Santa Rita Mountains. They provide opportunities to maximize views with appropriate land use planning.

Overall, the Specific Plan area is environmentally suitable for development, with appropriate mitigation. Environmental elements include the Class II riparian habitats.

I. Public Services Suitability:

Present and future public services may be provided for development within this Specific Plan area. The plan area is highly suited for development based on existing and future transportation plans. Both Interstate 19 and Highway 89 are on the Major Streets and Routes Plan. Interstate 19 is designated as a roadway of regional significance in the County Regional Transportation Plan. The Pima County Long Range Transportation Plan includes the new Sahuarita Corridor as a future controlled access highway linking Interstate 19 and Interstate 10.

Presently, there is wastewater capacity at the Roger Road Facility for a development of this type. Also, the 1990 Green Valley Wastewater Treatment Facility expansion study noted the feasibility of a sewer line running northerly along the Tucson-Nogales Highway to Hughes Access Road. Should this sewer be constructed, there is a possibility of sewer

connection closer to the site. Both of these options have been found to be unfeasible due to cost, right-of-way, and timing constraints. The preferred method of wastewater treatment is the construction of an on-site treatment plant which would serve both Rancho Sahuarita and other portions of the town.

Tucson Electric Power Company, TRICO, and Southwest Gas serve the parcel.

On September 16, 1994, Interchange Water Company, Inc. (IWC), filed an application with the Arizona Corporation Commission (ACC) for a new *Certificate of Convenience and Necessity (CC&N)* for the provision of water service to the Rancho Sahuarita Development.

Interchange Water Company, Inc., has hired a hydrologist to conduct a hydrology study of water availability for the proposed Certificated area. IWC is proposing to join the Center Arizona Groundwater Replenishment District so that it may obtain a "Designation of Assured Water Supply" (DAWS) from the Arizona Department of Water Resources (ADWR). A Groundwater Replenishment District is a public improvement district of the State of Arizona. Its purpose is to develop, store, augment, conserve, replenish or otherwise increase water supplies for the benefit of the district members consistent with achieving safe-yield.

At the present time, IWC is in the process of obtaining an assured water supply from the Department of Water Resources. The ACC staff has approved the CC&N for Interchange Water Company, Inc., and approved its tariffs and water rates.

The plan area is within the Sahuarita School District and will be served by Sahuarita Elementary, Junior, and High Schools. Provisions for additional schools are incorporated in the Rancho Sahuarita land use plan. Sites designated for schools shall revert to adjacent MDR zoning if they are not utilized, or in the event that they are relocated, within 10 years of adoption of the specific plan. School sites, as shown, may be moved upon the approval of the master developer and the school district. A \$30 million bond package was recently passed for a new high school and the existing school renovations.

Anamax Park is one-quarter mile west of the site. Sahuarita Park is located approximately 3 miles east of the site. The Santa Cruz River is a candidate for a future linear park. Green Valley, to the south, contains a number of private golf courses.

Medical needs are served in Tucson and Green Valley. Health care facilities in Green Valley include the Carondolet St. Mary's Hospital's

Green Valley Emergency Center, the Clinic Branch of Thomas-Davis Medical Centers, and many private physicians. The closest Tucson medical facilities include Kino Hospital on Ajo Way and Carondolet St. Mary's Hospital on St. Mary's Road. Uses proposed within this specific plan will accommodate a full range of medical uses within the town limits of Sahuarita.

The plan area is protected by the Pima County Sheriff's Department through an intergovernmental agreement with Pima County. Fire protection will be served either through Rural Metro or the future Town of Sahuarita Fire Department, or other approved private services.

II. SITE ANALYSIS AND INVENTORY:

A. Existing Land Uses:

1. **Site Location in Regional Context:** The project site consists of approximately 3,084 acres, located primarily within the newly incorporated Town of Sahuarita. Green Valley, Arizona is approximately 4 miles south of the Specific Plan area. The Rancho Sahuarita Specific Plan site is currently zoned RH (Rural Homestead: 0.24 residence/acre and agricultural uses) and GR-1 (General Rural: 0.83 residences/acre and support commercial).
2. **Existing Land Uses on Site:** The site is currently vacant and undeveloped, with the exception of abandoned agricultural land in the northeastern portion. Several unpaved roads, utility easements and capped well sites are located on the site. (See Exhibit II-A.1 & Exhibit II-A.2: Existing Zoning and Existing Land Uses).
3. **Surrounding Property Within 1/4 Mile Radius:** Existing land uses within 1/4 mile include several small "pockets" of development with the majority of the adjacent area vacant.

Property to the north is primarily undeveloped land with one residence and the ASARCO power facility. Power transmission lines parallel the northern property boundary and cross the property at the extreme northwest corner of the property. Adjacent to the subject property to the east is a small development of homes and the Santa Cruz River. A residential subdivision is located south of the site on the east side of Interstate 19. Scattered residences are south of the site to the west of Interstate 19. West of the site is a combination of mine tailings, landfill, borrows pit, public park, and very limited number of residences. Active open pit copper mining operations occur approximately one and one half mile from the site to the west and northwest. These mining operations pose no safety hazard for the site. ASARCO has recently purchased a portion of state land property lying north and west of the Rancho Sahuarita property across I-19.

The mines are required to control dust in accordance with the Arizona Department of Environmental Quality. A disclosure statement regarding mining activities will be included in the public report and made available to all property buyers in Rancho Sahuarita.

The Sahuarita school complex is surrounded by the subject property across its north, east, and the west boundaries except for a 4.19-acre proposed commercial area on the northeast corner of Sahuarita Road and Rancho Sahuarita Boulevard that was approved for rezoning in May 2008. Except for the school complex, the existing structures in the immediate surrounding area of the site are single story.

B. Topography:

1. Topographic Characteristics:

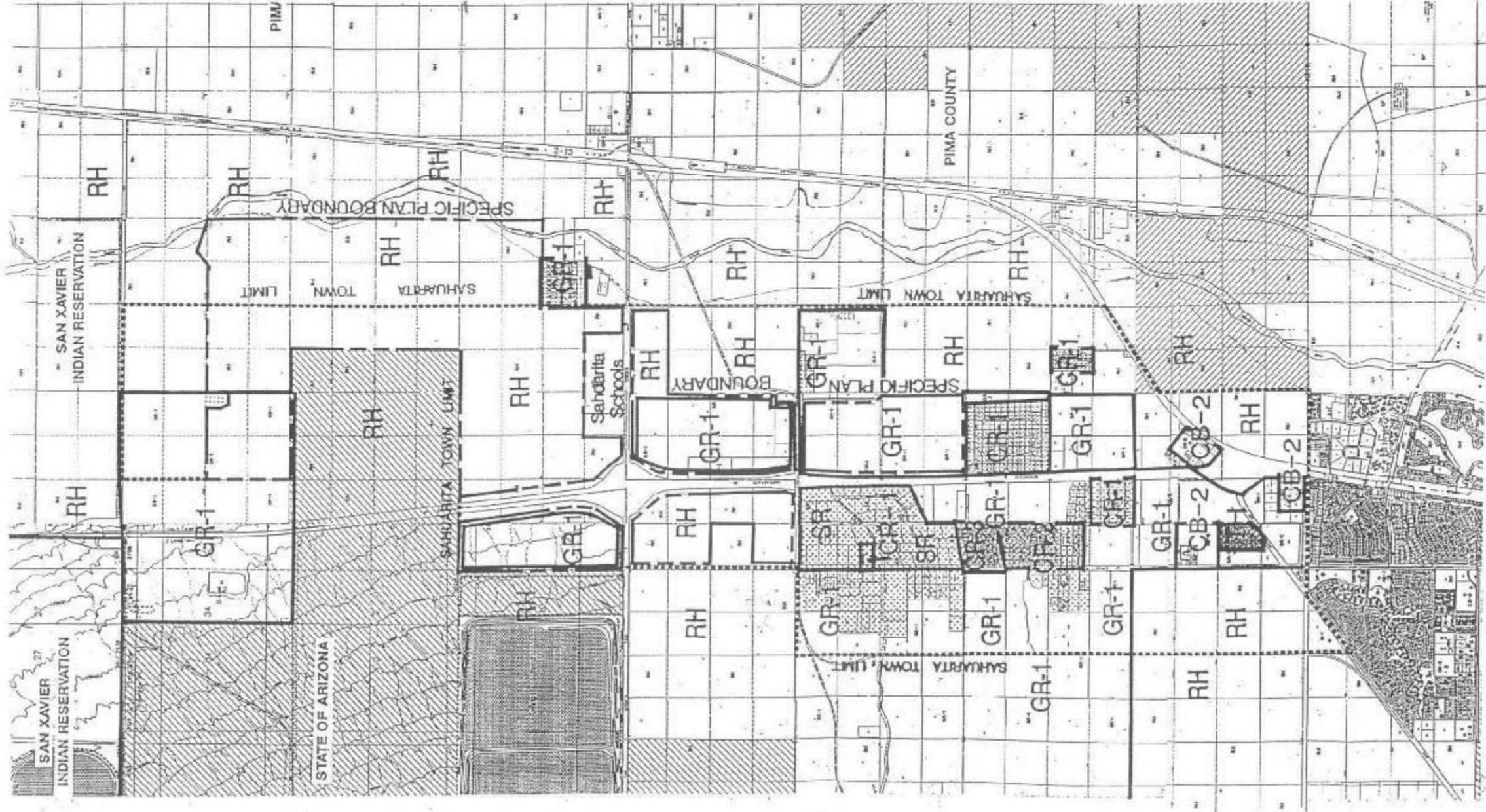
- a. Restricted Peaks & Ridges: There are no restricted peaks or ridges as designated in the Pima County Zoning Code Section 18.61.120.
- b. Rock Outcrops: There are no rock outcrops on the site. This information was compiled from examination of aerial photographs at 1"=40' scale and verified by on-site investigation.
- c. Slopes of 15% or Greater: The topography of the site is generally flat to gently rolling, gradually sloping from the west to the east (See Exhibit II-B.1: Topography). There are no significant slopes greater than 15% and the average slope of the area is 2.4 percent.

- 2. Average Cross Slope:** Average cross slope is calculated by multiplying the contour interval by the total length of contours by a constant, divided by the area of the site.

$$\text{Average Cross Slope} = \frac{I \times L \times .0023}{AC} = \%$$

$$\text{Average Cross Slope for site} = \frac{5' \times 570,736' \times .0023}{2,793 \text{ AC}} = 2.4\%$$

Existing Zoning



LEGEND

- RH Rural Homestead
- GR-1 Rural Residential
- TH Trailer Homesite
- SR Suburban Ranch
- CR Single Residential
- * Well Site
- Existing Housing

Reflects Ordinance Zoning
as of 12/94.

EXHIBIT 11-A.1
Existing Land Uses
& Zoning



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Existing Land Uses

LEGEND

	Well Site
	Power Transmission Lines
	Disturbed/Agricultural Land
	Existing Housing
	Asarco Power Plant
	Southern Pacific Rail Road (50' ROW)
	Pecan Groves
	Anamax Park

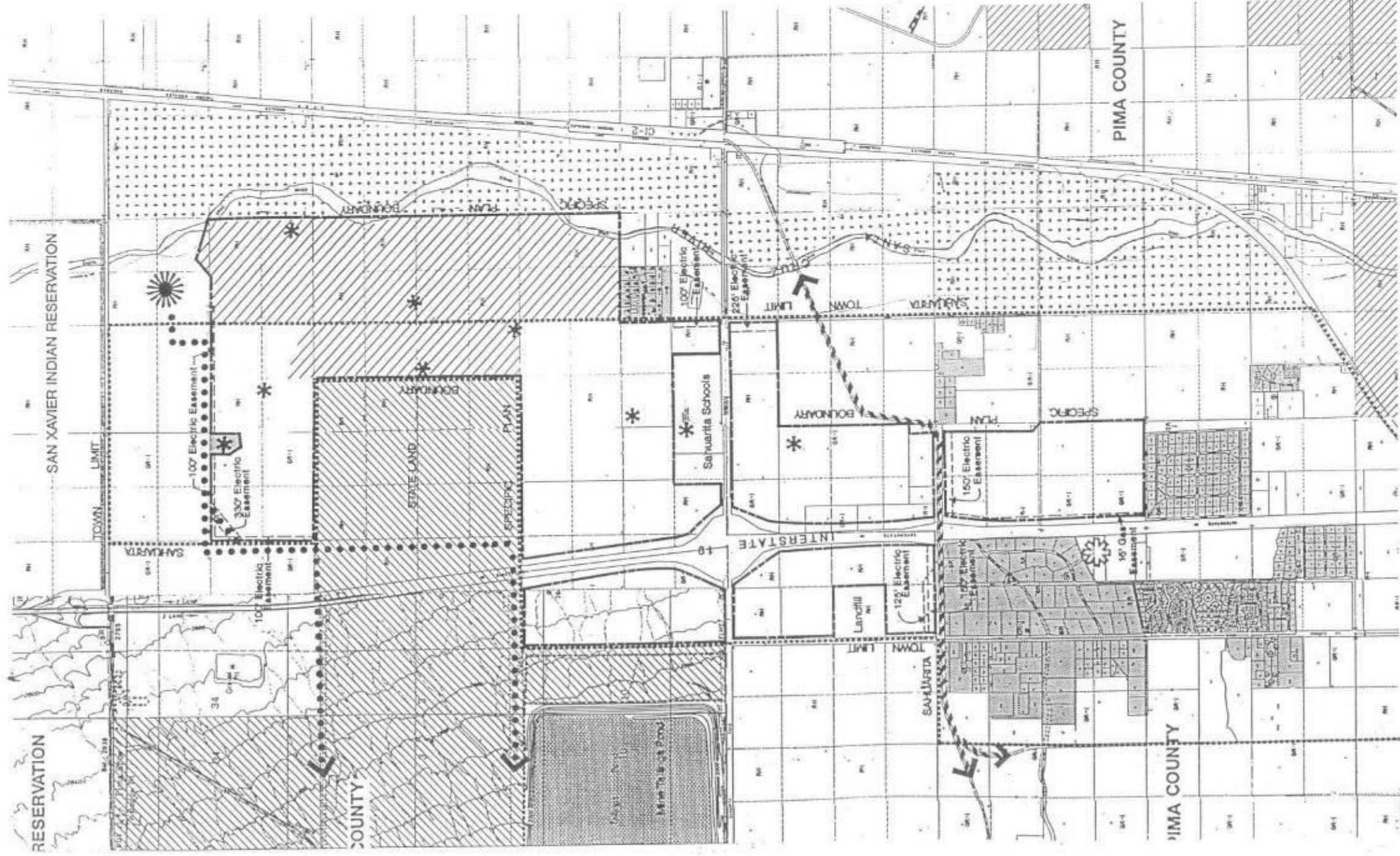


EXHIBIT II. A. 2
Existing Land Uses

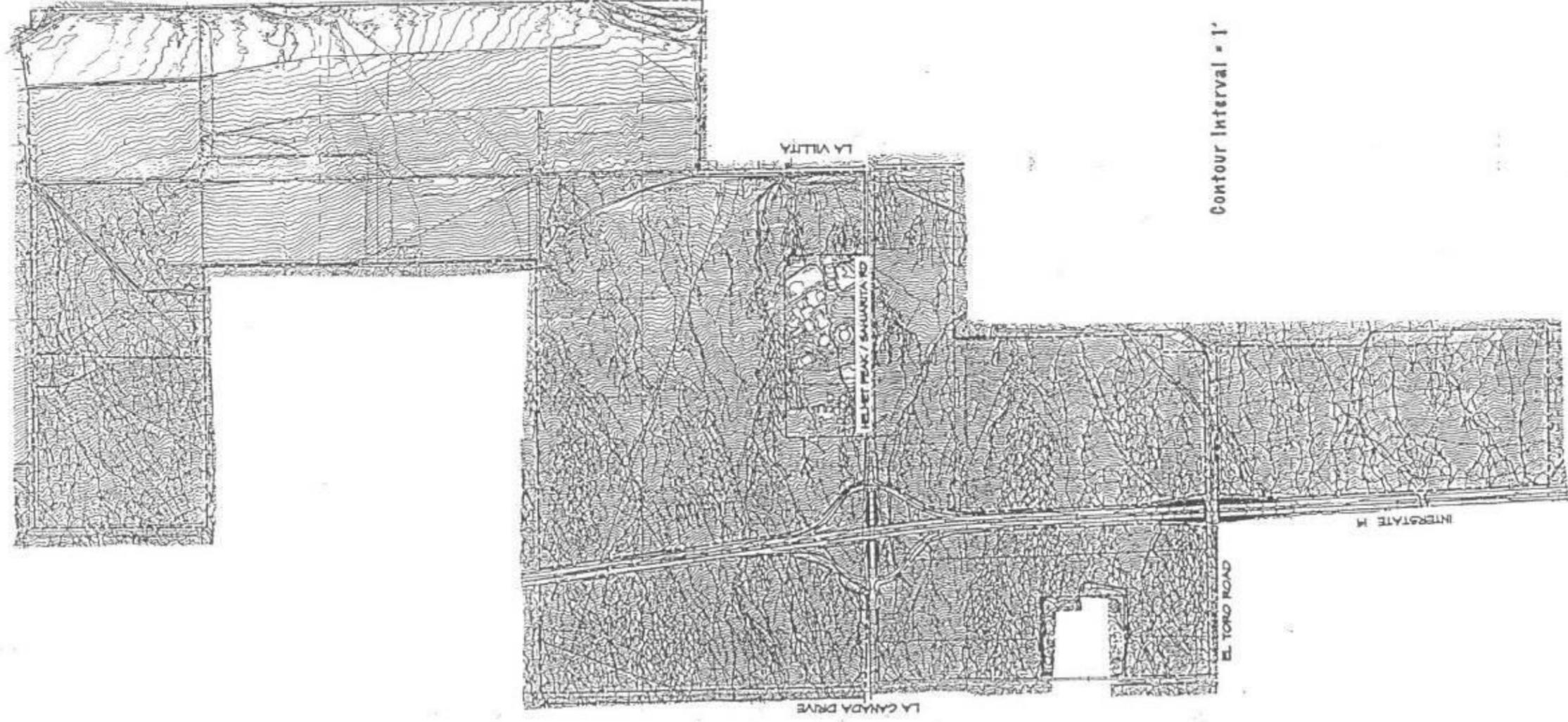


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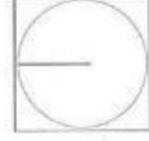
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Topography



Contour Interval = 1'

EXHIBIT II-B.1
Topography



THE
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110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 623-6146

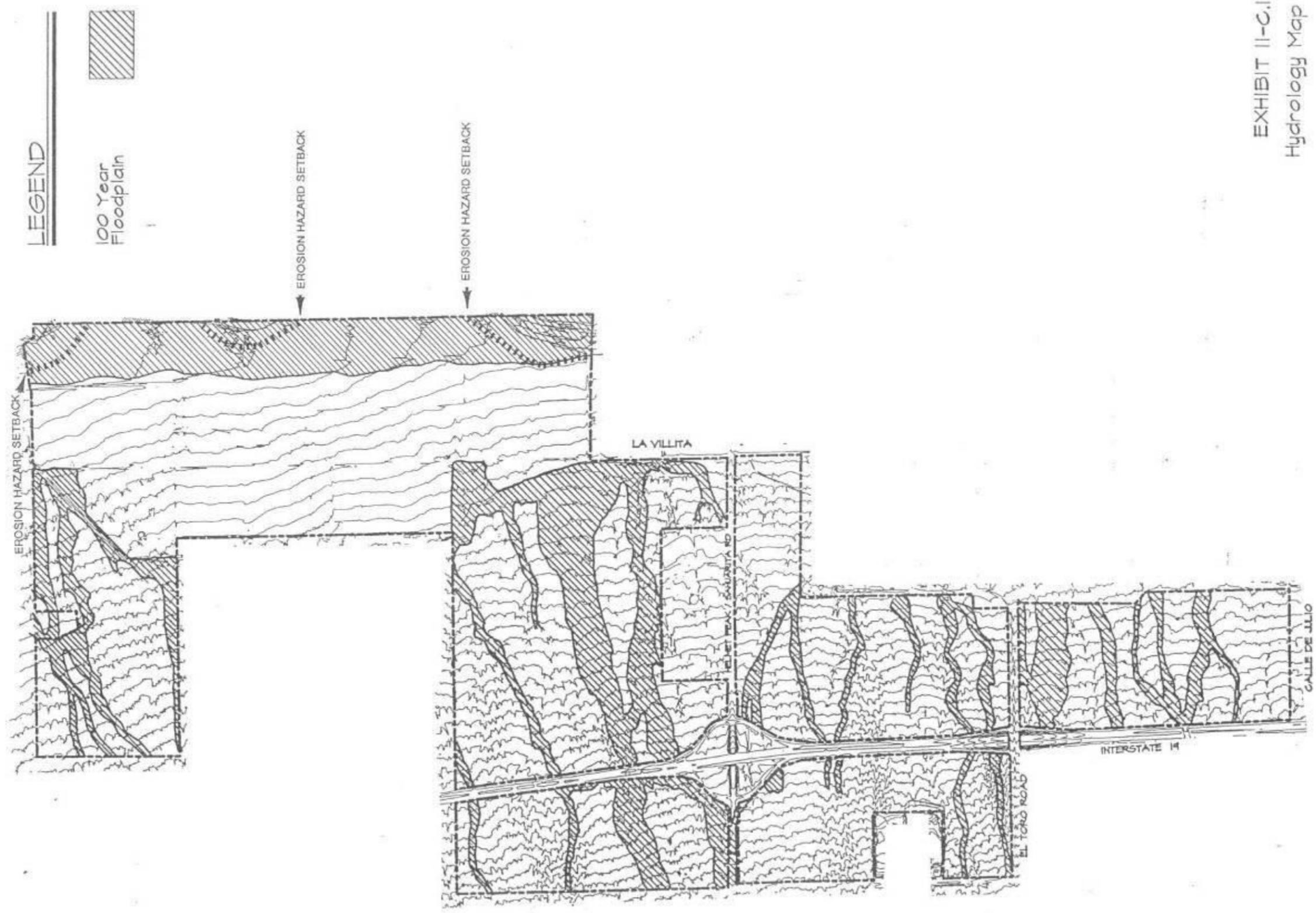
SCALE



RANCHO SAHUARITA

S A H U A R I T A , A R I Z O N A

Hydrology Map



LEGEND

100 Year Floodplain

EXHIBIT II-C.1
Hydrology Map

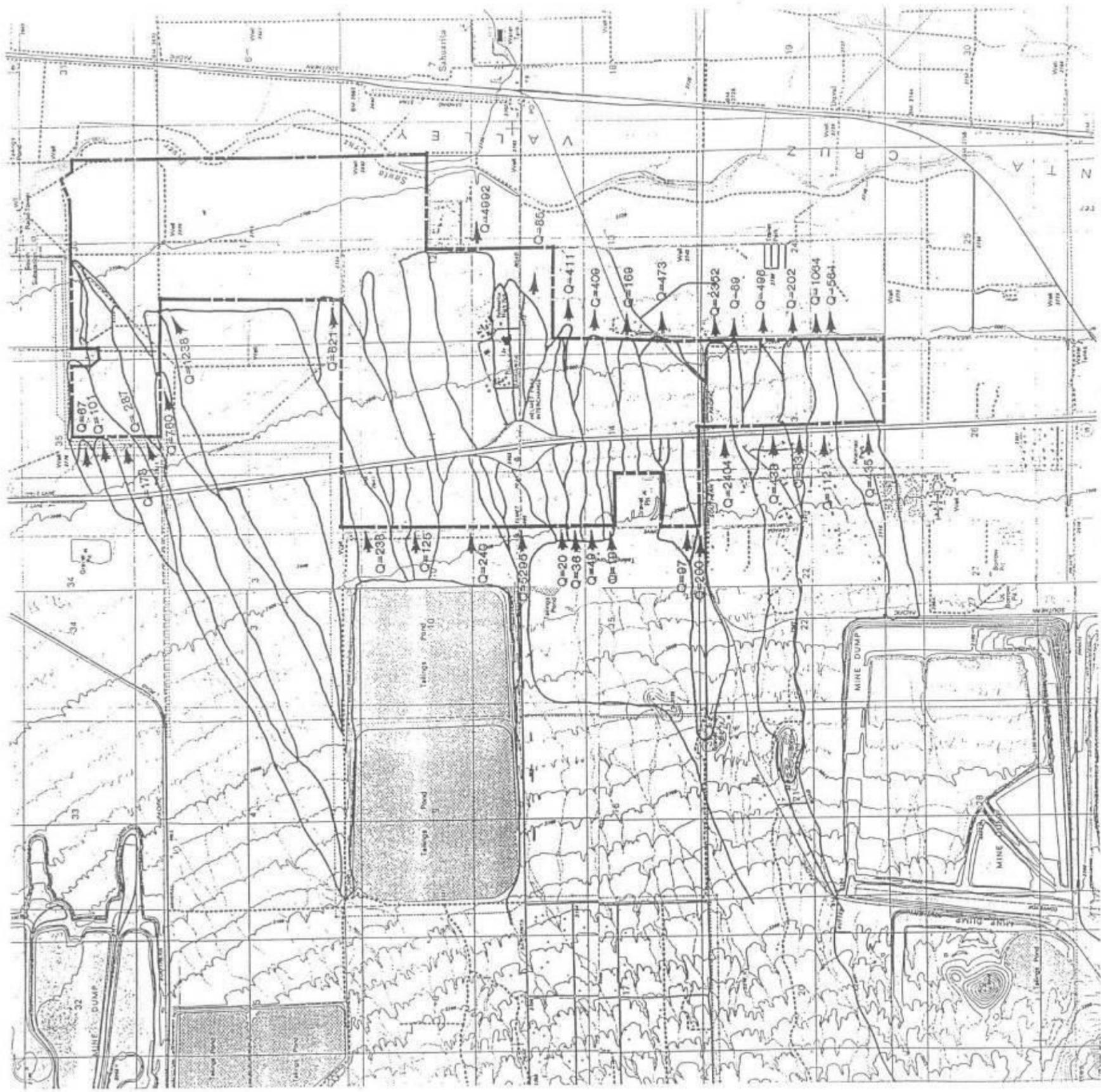


SCALE



RANCHO SAHUARITA
S. A H U A R I T A , A R I Z O N A

OFF-SITE WATERSHED



NOTE: Q = Q₁₀₀ = 100-Year Discharge (cfs)

EXHIBIT II-C.2
OFF-SITE WATERSHED

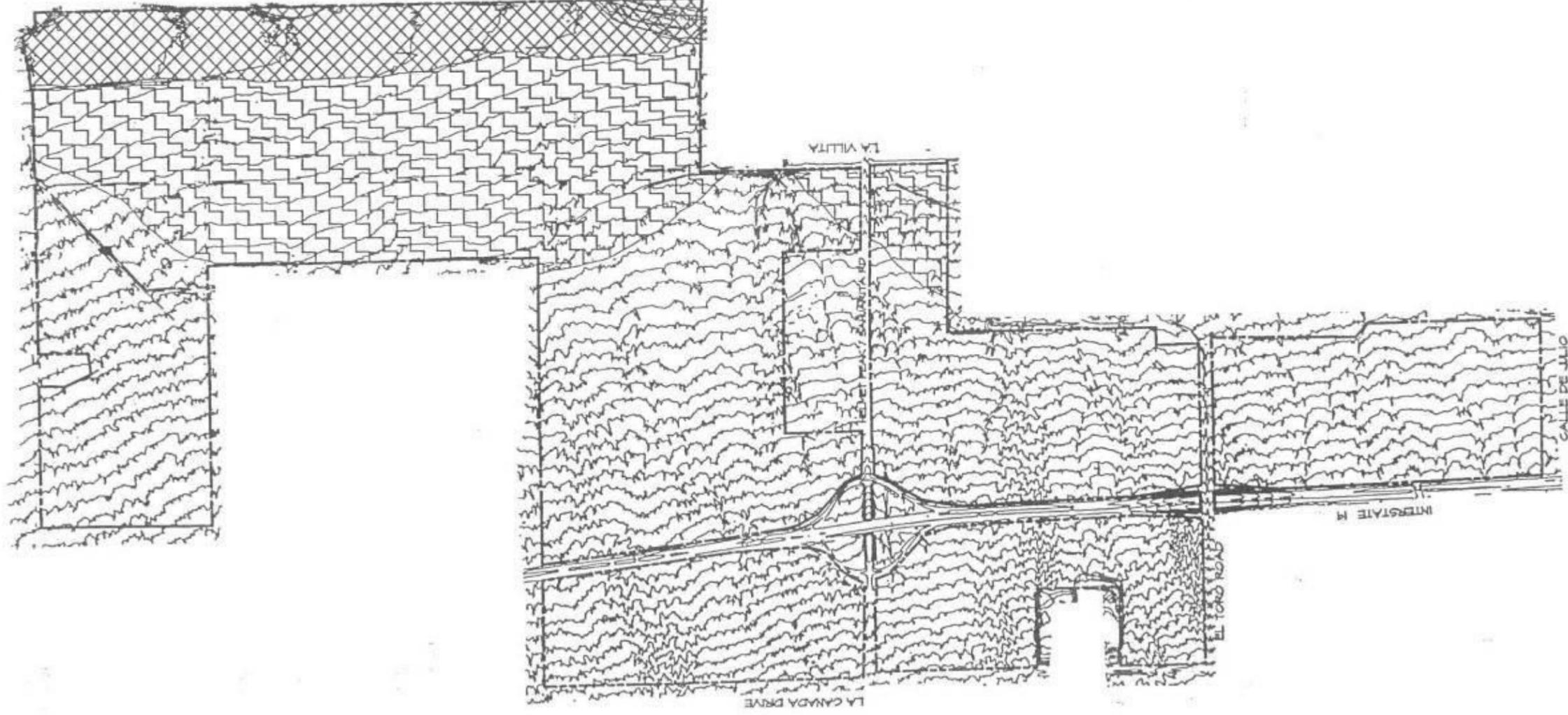


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S A H U A R I T A A R I Z O N A

NOT TO SCALE

EXISTING FLOODPRONE AREAS

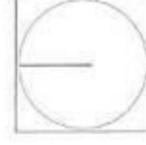


LEGEND

Areas Inundated
by sheet flow
Ponding not to exceed
one foot in depth

FEMA Zone area

EXHIBIT II-C.3
EXISTING FLOODPRONE
AREAS



THE
PLANNING
CENTER

110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 622-6166

RANCHO SAHUARITA
SAHUARITA, ARIZONA

SCALE



C. Hydrology:

- 1. Off-site Watershed:** Storm water drainage flow characteristics and surface water hydrology patterns for the site have been evaluated. (See Exhibit II-C.1: Hydrology Map). The evaluation is based on aerial photos, field/site visits, historical records, USGS mapping and current field topography maps. Calculations and evaluations were completed using these records and current criteria for drainage design in Pima County. Peak discharge routes were calculated using the methodology presented in the Pima County Hydrology Manual for Engineering Design and Floodplain Management. The total length of the site is impacted by stormwater runoff generated off-site flowing eastward to the Santa Cruz River. (See Exhibit II-C.2: Off-Site Watersheds). Flows crossing the property are generally more defined along the western edge and tend to merge and sheet flow across the property along the eastern edges and adjacent to the Santa Cruz River Channel.

The north to south length of the property is approximately 4.5 miles with an irregular edge. The 100-year flow calculated for the crossing watersheds have been calculated at the structural points for Interstate 19 that cross through and along the upstream portion of the property for three miles.

These calculations indicate the property is subjected to twenty cross property flows that exceed 100 cfs and range up to approximately 5,200 cfs. These large flows are augmented by numerous smaller Interstate 19 crossing flows that do not exceed 100 cfs for the 100-year flow rate. These flows all cross the property and drain into the Santa Cruz River Channel. At the time of analysis, none of these watersheds have been designated as critical or balanced basins by the Pima County Department of Transportation and Flood Control District. A review of FEMA mapping for this area indicates a portion of the Santa Cruz River is expected to overlap and flood a portion of the eastern property. This land is designated as a Zone A-1 with a delineated limit of flooding. The on-site hydrology evaluations indicated the flow of stormwater travels to the Santa Cruz River Channel and ends up as sheet flow with an estimated depth of 1 foot across the most eastern portion of the property.

The federally mapped FEMA floodplain has been delineated and mapped. (See Exhibit II-C.3: Existing Floodprone Areas). All 100-year discharges that exceed 100 cfs using the Pima County Method have also been shown on the Hydrology Map exhibit. The Santa Cruz River is a major drainage facility currently being

studied by Pima County Department of Transportation and Flood Control District.

2. Off-site Features that May Affect or May Be Affected by the Site:

These features include the tailings ponds of the upstream mines, the existing Sahuarita schools, the existing development downstream of the site, as well as the existing development along the northern border of the site, an existing gravel pit upstream of the site, Sahuarita Road, El Toro Road, Interstate 19 and existing crossings, and the state land with its existing earthen berm to the west of the site.

3. Upstream Watersheds With 100 Year Discharges Greater Than 100 cfs:

Upstream watersheds with 100 year discharges greater than 100 cfs have been delineated and are shown in Exhibit II-C.2: Off-site Watershed Map.

4. On-Site Hydrology:

a. 100-Year Floodplain Less Than or Equal to 100 cfs:

No on-site floodplains are being included at this time for Q100 less than or equal to 100 cfs.

b. Sheet Flooding Areas With Their Average Depth:

On-site hydrology evaluations indicate that flows on areas of the property disperse and become sheet flow toward the eastern portion of the property, see Exhibit II-C.3: Existing Floodprone Areas. The depth of this sheet flow does not exceed one foot.

c. Federally Mapped Floodways and Floodplains:

The Santa Cruz River 100-year floodplain is located on a portion of the eastern property. This information is based upon the most current Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) for Pima County, Community Panel No. 040073 3405 B, effective date February 15, 1983. The affected land is designated as Zone A1 (now designated as Zone AE), which is an area of 100-year flooding where base flood elevations have been determined. The federally mapped FEMA floodplain has been delineated and is shown in Exhibit II-C.3: Existing Floodprone Areas.

d. Peak Discharges Entering and Leaving the Site:

All peak discharges entering and leaving the site are shown on Exhibit II-C.2: Off-site Watersheds.

5. Existing Drainage Conditions Along Downstream Property Boundary:

Under existing conditions the majority of the water flows north of Sahuarita Road sheet flow into the Santa Cruz River. Flows south of Sahuarita Road are generally conveyed in braided, under-sized channels which discharge into the Santa Cruz River. No drainage improvements exist downstream of the property and all flows discharge into the Santa Cruz River under natural conditions.

D. Vegetation:

1. Vegetation Inventory and Description: The Specific Plan area is located in the Arizona Upland Subdivision of the Sonoran Desert Scrub biome. It is within the Palo Verde-Cacti-Mixed Scrub Series. Also located within this Sonoran biome are small insignificant isolated areas of streamside association, Sonoran Riparian Scrubland. The plant species within the drainageways are the same as those found in the adjacent desert scrub, low to medium height, but are typically not as sparse as the surrounding desertscrub. (See Exhibit II-D.1: Vegetation Communities Map).

a. Vegetation Communities and Associations: The primary species within this area is *Cercidium* and *Opuntia*. Other vegetation found on site within this series include:

<i>Cercidium microphyllum</i>	Foothill
	Paloverde
<i>Celtis reticulata</i>	Netleaf
	Hackberry
<i>Prosopis velutina</i>	Velvet
	Mesquite
<i>Acacia greggii</i>	
	Catclaw
<i>Larrea tridentata</i>	
	Creosotebush
<i>Baccharis sarothroides</i>	Desert Broom
<i>Ferocactus wislizenii</i>	Barrel Cactus
<i>Opuntia spp.</i>	
	Cholla
<i>Opuntia spp.</i>	
	Prickly Pear
<i>Carnegiea gigantea</i>	
	Saguaro

A variety of forbes and grasses also exist on the site.

- b. Federally Listed and Threatened Endangered Species: The Pima pineapple cactus (*Coryphantha scheeri robustispina*) is a state and federally protected species known in the northern vicinity of the project. There are a few scattered saguaros that may be salvageable, but there are no significant stands of the species on the site.

There are no Class I Habitat areas, as classified by the ***Critical and Sensitive Biological Communities Study and Map***, Shaw, et al, completed for the Pima County Transportation and Flood Control District in 1986. Class II Habitat areas do exist on-site. These fall into two categories. The Class II Habitat areas are those "...major segments of riparian habitat not linked with protected areas," and "paloverde-saguaro Sonoran Desert community." The Specific Plan area includes several Class II riparian habitats. The major undisturbed areas in the western portion of the site fall within the Class II paloverde-saguaro Sonoran Desert community category.

2. **Vegetative Densities:** Vegetative densities on-site were measured from aerial photographs and verified during field investigations. Densities are expressed as percent canopy coverage. Vegetative canopy coverage for shrubs and trees were calculated. Grasses and other groundcovers were not considered. (See Exhibit II-D.2:

Vegetation Density Map). Vegetation densities were divided into three categories:

•High Density	71%-100%
•Medium Density	31%-70%
•Low Density	0%-30%

The Rancho Sahuarita site is well suited for development. The site's natural drainage patterns have been altered by the construction of I-19 and the mines. Consequently, the quantity and quality of vegetation have been decreased. The majority of the site contains low to medium density coverage. Article X of the Pima County Floodplain Ordinance is expected to have no impact on proposed site development. Due to the low vegetative density, the site's desertscrub vegetation and negligible riparian communities provide limited wildlife value. There are no significant stands of saguaros on-site. In addition, the northeastern portion of the site has been disturbed by agricultural activities, and has minimal vegetative densities.

E. Wildlife:

1. Letter From the Arizona Game and Fish Dept:

- a. State-listed Threatened or Endangered Species: There are no known locations of any special status animal species on the site. Habitats in the vicinity could potentially support two federal Category 2 candidate species the desert tortoise (*Gopherus agassizii*) and the yellow nosed cotton rat (*Sigmodon ochrognathus*). Additionally, the Great Plains narrow-mouthed toad (*Gastrophryne olivacea*), a state candidate species, may occur on the site. (See Appendix C: Game and Fish Letter).
- b. Density/Diversity of Species: Not Applicable. The project area is considered to have low wildlife densities.
- c. Aquatic or Riparian Ecosystem: Wildlife are dependent upon the presence of suitable habitat. ***Critical and Sensitive Biological Communities Study and Map*** by Dr. Shaw, et al, has identified and classified important habitat in the Tucson Basin in a study done for the Pima County Department of Transportation and Flood Control, 1986. The Class II Critical and Sensitive Habitats are of limited importance due to the overall lack of significant diversity

of species and lack of large numbers of individuals. These habitats are not linked with protected areas and do not support a large diversity of wildlife.

F. Soils:

- 1. Soils Testing:** The study area has been mapped by the Soil Conservation Service. The site's surface is composed of 12 different major soil series as identified and mapped (See Exhibit II-F.1: Soils Map). The majority of the area is covered by Anthony series, Gila series, Grabe series, Hayhook series, Sonoita series, and Tubac series. Other soils series which occur with less frequency on the site include the Arizo series, Brazito series, Comoro series, Glendale series, Pima series, and the Vinton series. Water erosion is characterized as slight to moderate for these groups. Wind erosion is slight to moderate in all groups except for the Hayhook and Hayhook-Sahuarita complex groups which are moderately high. Runoff is slow to medium for the other soils. There is moderate-rapid permeability for all soils with the exception of the Tubac series, Pima, and Glendale series whose permeability is slow to medium.

The soil properties important in engineering design include permeability, shear strength, compaction, expansion, drainage, and shrink and swell. The on-site soils are usable for development with proper engineering design.

Anthony Series

The Anthony series consists of well-drained sandy loams or loams. They formed in mixed material deposited on flood plains/alluvial fans by streams. Slopes are 0 to 5 percent. Vegetation is mostly annual grasses, weeds, mesquite, scattered paloverde, creosotebush, saguaro cactus, and cholla cactus.

Vegetation Communities

LEGEND

-  Riparian Habitat (class II)
-  Disturbed Area
-  Paloverde - Cactus Mixed Scrub Series
-  Paloverde - Saguaro Sonoran Desert Community (class II)

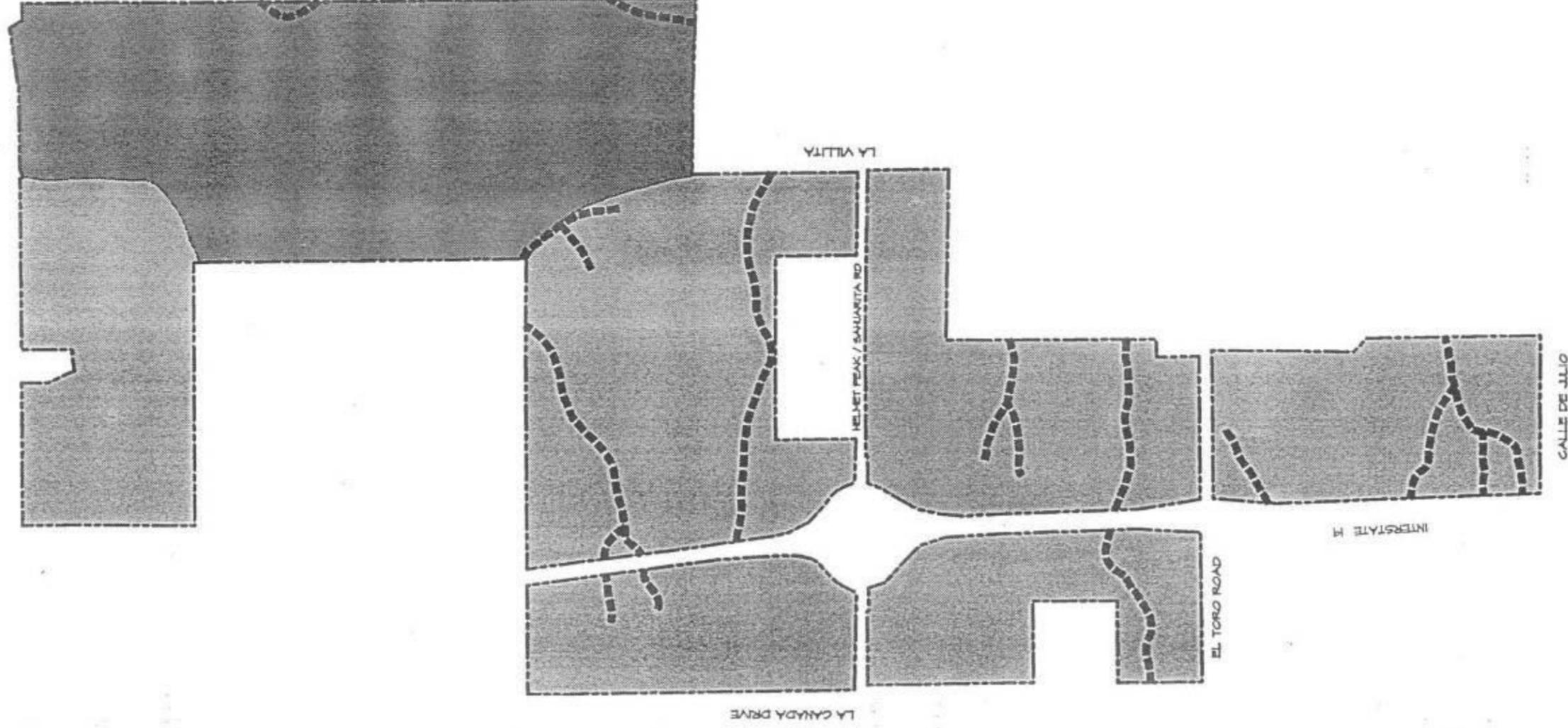
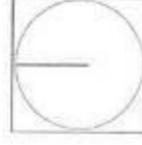


EXHIBIT II-D.1
Vegetation Communities



THE
PLANNING
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110 S. CHURCH AVE., SUITE 6325
TUCSON, AZ 85701 (520) 623-6146

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S A H U A R I T A A R I Z O N A

Vegetation Densities

LEGEND

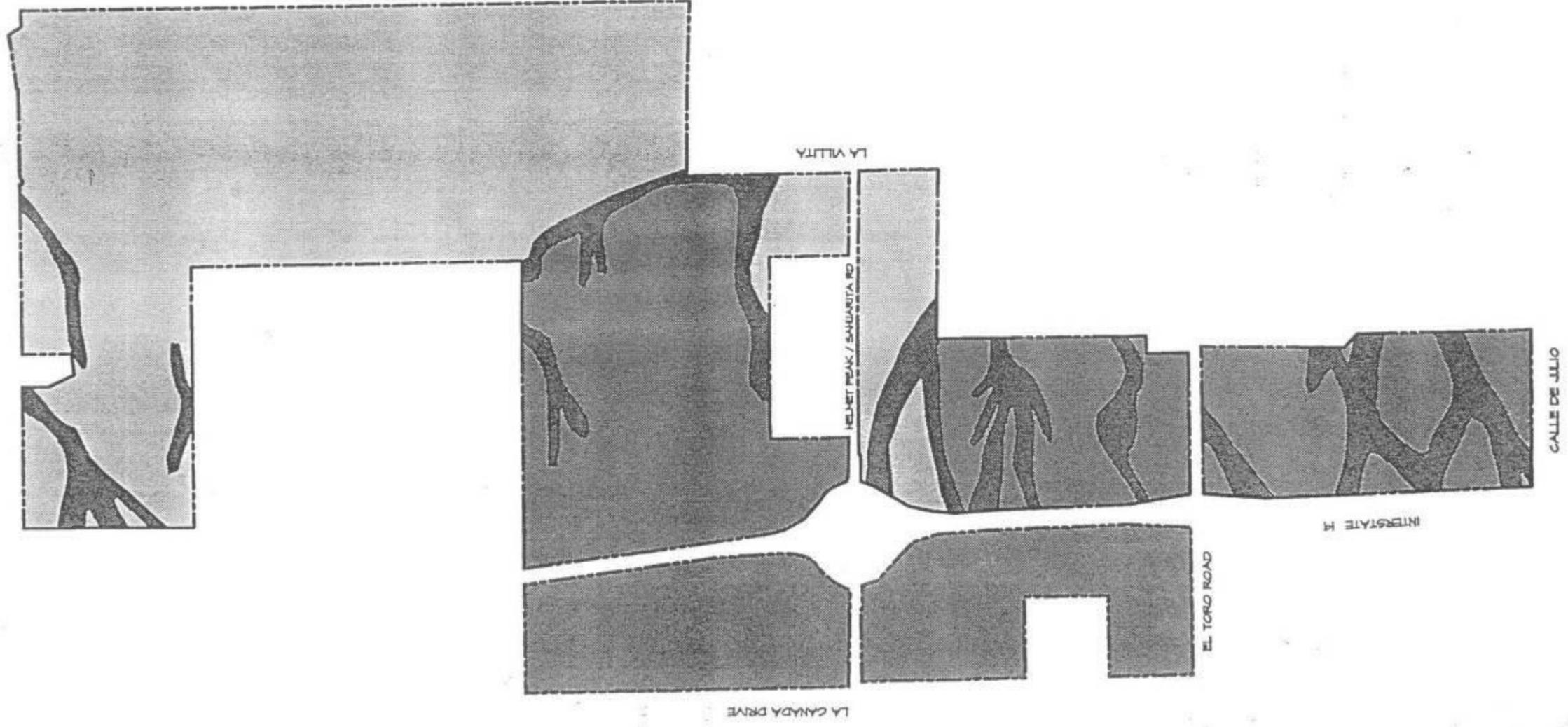
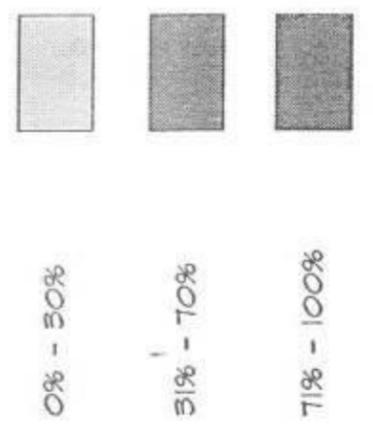
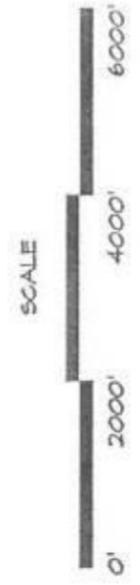


EXHIBIT II-D.2
Vegetation Densities



RANCHO SAHUARITA

S A H U A R I T A , A R I Z O N A

The soil is mildly alkaline to moderately alkaline, and is calcareous throughout.

Permeability of these soils is moderately rapid. Runoff is slow to medium and the erosion hazard is slight to moderate. Anthony soils are used for irrigated crops and desert range. They also are used for urban development and water supply purposes, as wildlife areas, and as a source of material for engineering work. Anthony soils are suitable for development.

Arizo Series

The Arizo Series consists of excessively drained very gravelly loamy sands and very gravelly sands that contain strata of very gravelly loam. These soils formed in material laid down by rapidly flowing water on flood plains and alluvial fans. Slopes are 0 to 1 percent. The vegetation is mesquite, paloverde, creosotebush, and annual plants. The soil is moderately alkaline throughout.

Permeability of Arizo soils is very rapid. Runoff is very slow, erosion hazard slight. Primary uses are for wildlife/desert range and material for engineering work. Small areas are used for irrigated crops. Arizo soils are suitable for development with suitable engineering to reduce the flooding hazard.

Brazito Series

The Brazito series are excessively drained soils that are dominantly sand, gravelly sand, gravelly loamy sand, and sandy loam. These soils formed in alluvium deposited on flood plains, fans and valley slopes. Slopes are 0 to 3 percent. Vegetation is annual grasses, weeds and sparse stands of mesquite and creosotebush. Soil is moderately alkaline and generally calcareous throughout, but in all places it is calcareous below a depth of two feet.

Permeability of the Brazito soils is rapid. Runoff is slow and hazard of erosion slight. These soils are used for desert range, irrigated crops, and wildlife areas. Brazito soils are suitable for development.

Comoro Series

The Comoro series consists of well-drained sandy loams, gravelly sandy loams, and loams. These soils are forming in recent alluvium laid down on flood plains, alluvial fans, and valley slopes. Slopes are 0 to 3 percent. The vegetation is mesquite, catclaw, whitethorn, burroweed, and annual grasses. In most places the soil is moderately alkaline and calcareous throughout.

Permeability of the Comoro soils is moderately rapid. Runoff is slow to medium and erosion hazard slight. These soils are used for irrigated crops, urban development, desert range, and as a source of material for engineering work, and for wildlife areas and water supply. Comoro soils are suitable for development.

Gila Series

The Gila series consists of well-drained soils that have a subsoil of loam and very fine sandy loam. These soils formed in mixed material laid down by water on flood plains and alluvial fans. Slopes are 0 to 3 percent.

Representative profile, brown to pale-brown loam and thin layers of silt loam, silty clay loam, very fine sandy loam, and fine sandy loam to a depth of more than 54 inches. The profile is moderately alkaline and generally calcareous throughout.

Permeability of these soils is moderate. Runoff is slow and erosion is not a hazard. Gila soils are used for irrigated crops, desert range, urban development, wildlife, water supply, and as a source of material for engineering work. Gila soils are suitable for development.

Glendale Series

The Glendale series consists of well-drained silty clay loams or clay loams. These soils formed in recent alluvium deposited on flood plains and valley plains. Slopes are 0 to 1 percent. The vegetation usually associated with these soil series is creosotebush, mesquite, and annual weeds. The profile is moderately alkaline to strongly alkaline and is calcareous throughout.

Permeability of these soils is moderately slow. Runoff is slow and erosion is not a hazard. Glendale soils are used for desert range, irrigated crops, wildlife, water supply, and urban development. Glendale soils are suitable for development.

Grabe Series

The Grabe series consists of well-drained loams, gravelly loams, and silty clay loams. These soils formed in recent alluvium deposited on flood plains, alluvial fans, and valley slopes. Slopes are 0 to 3 percent. The vegetation is chiefly mesquite and annual grasses and weeds, but creosotebush, paloverde, and cactus grow in scattered areas. The profile is moderately alkaline and calcareous.

Permeability of these soils is moderate. Runoff is slow; erosion is not a hazard. Grabe soils are used for irrigated crops, urban development, desert range, wildlife, water supply, and as a source of material for engineering work. Grabe soils are suitable for development.

Hayhook Series

The Hayhook series consists of deep, well-drained sandy loam soils on gently sloping fan terraces. It is formed of alluvium derived predominately from granite. Slopes are 1 to 5 percent. Vegetation includes burroweed, mesquite, paloverde, and annual grasses.

Permeability is moderately rapid. Runoff is medium. Water erosion hazard is slight to moderate; wind erosion hazard is moderately high. Hayhook soils are used for rangeland and urban development, and are suitable for development.

Hayhook Sahuarita Complex

Hayhook-Sahuarita complex soils consist deep, well-drained soils formed in alluvium derived primarily from granite. Soils are 45 percent Hayhook sandy loam and 30 percent Sahuarita very fine sandy loam. Found on gently sloping intermediate, low fan terraces incised by narrow drainageways. Slopes are 1 to 5 percent. Vegetation includes paloverde, mesquite, burroweed, and triangle bursage.

Permeability of the Hayhook-Sahuarita complex soil is moderately rapid. Runoff is medium. The hazard of water erosion is slight to moderate, and the wind erosion hazard is moderately high. These soils are used for rangeland and homesite and urban development. Hayhook-Sahuarita complex soils are suitable for development.

Pima Series

The Pima series consists of well-drained soils that formed in recent alluvium deposited on flood plains. Slopes are 0 to 1 percent. Vegetation is annual and perennial grasses and weeds, mesquite, creosotebush, paloverde, and cactus. The profile is moderately alkaline and generally is calcareous throughout.

Permeability of these soils is moderately slow. Runoff is medium and the hazard of erosion is slight or none. Pima soils are used for irrigated crops, desert range, urban development, wildlife, and water supply. These soils are suitable for development.

Sonoita Series

The Sonoita series consists of well-drained soils having a sandy loam and light sandy clay loam subsoil. These soils formed on old alluvial fans in mixed material high in quartz and feldspar. Slopes are 0 to 3 percent. Vegetation includes annual and perennial grasses and weeds, scattered mesquite, and cholla and other kinds of cactus. The profile is neutral to moderately alkaline throughout, and generally non-calcareous to a depth of 20 to 36 inches.

Permeability is moderate. Runoff slow to medium, with slight to moderate erosion hazard. Sonoita soils are used for irrigated crops, desert range, wildlife, water supply, urban development, and material for engineering work. Sonoita soils are suitable for development.

Tubac Series

In the Tubac series are well-drained soils that have a clay subsoil. These soils formed in old alluvium on terraces and fans. Slopes range from 0 to 3 percent. The vegetation is annual and perennial grasses and weeds, mesquite, whitethorn, cactus, paloverde, creosotebush, ironwood, and saguaro. The profile is neutral to moderately alkaline. It is non-calcareous to a depth of 12 to 24 inches and calcareous below.

Permeability of these soils is slow. Runoff is medium and the erosion hazard is moderate. Tubac soils are used for irrigated crops, desert range, wildlife, and water supply. Irrigated crops are cotton, sorghums, barley, peanuts, and alfalfa. Tubac soils are suitable for development with proper engineering to minimize its shrink-swell potential.

Vinton Series

The Vinton series consists of well-drained loamy fine sands. These soils formed in recent alluvium on flood plains and fans in the Santa Cruz and Avra Valleys. Slopes are 0 to 3 percent. The vegetation is annual grasses and weeds, mesquite, cholla, and creosotebush. The profile is moderately alkaline and calcareous.

Permeability of these soils is moderately rapid. Runoff is slow and erosion hazard is moderate. Vinton soils are used for irrigated crops, desert range, water supply, urban development, wildlife, and material for engineering work. Vinton soils are suitable for development.

G. Viewsheds:

1. Onto and Across the Site Viewshed:

- a. Onto and Across from Adjacent Properties: The viewshed analysis was conducted by on-site and off-site reconnaissance, along with aerial photography and topographic interpretation. The viewshed analysis evaluates the post-development site's impact to the views of adjoining properties.

There are no primary off-site views across the site which may be impacted by the proposed development. View analysis was made from 2 points along I-19 and 3 points on Helmet Peak/Sahuarita Road. All off-site vistas are seen above the canopy level of on-site vegetation. (See Exhibit II.G.1: Off-Site Vistas) Mine tailings, one-half mile to the west are visible from viewpoints 1, 2, and 5. The raised elevation of I-19 is visible from viewpoints 2, 3, and 4 along Helmet Peak/Sahuarita Road. Long Range vistas of the Santa Rita Mountains, 18 miles to the southeast, are

visible from all vantage points, and offer an amenity opportunity for development. The School District and public at large should anticipate that increasing the height of buildings in the Town Center Area may affect viewsheds.

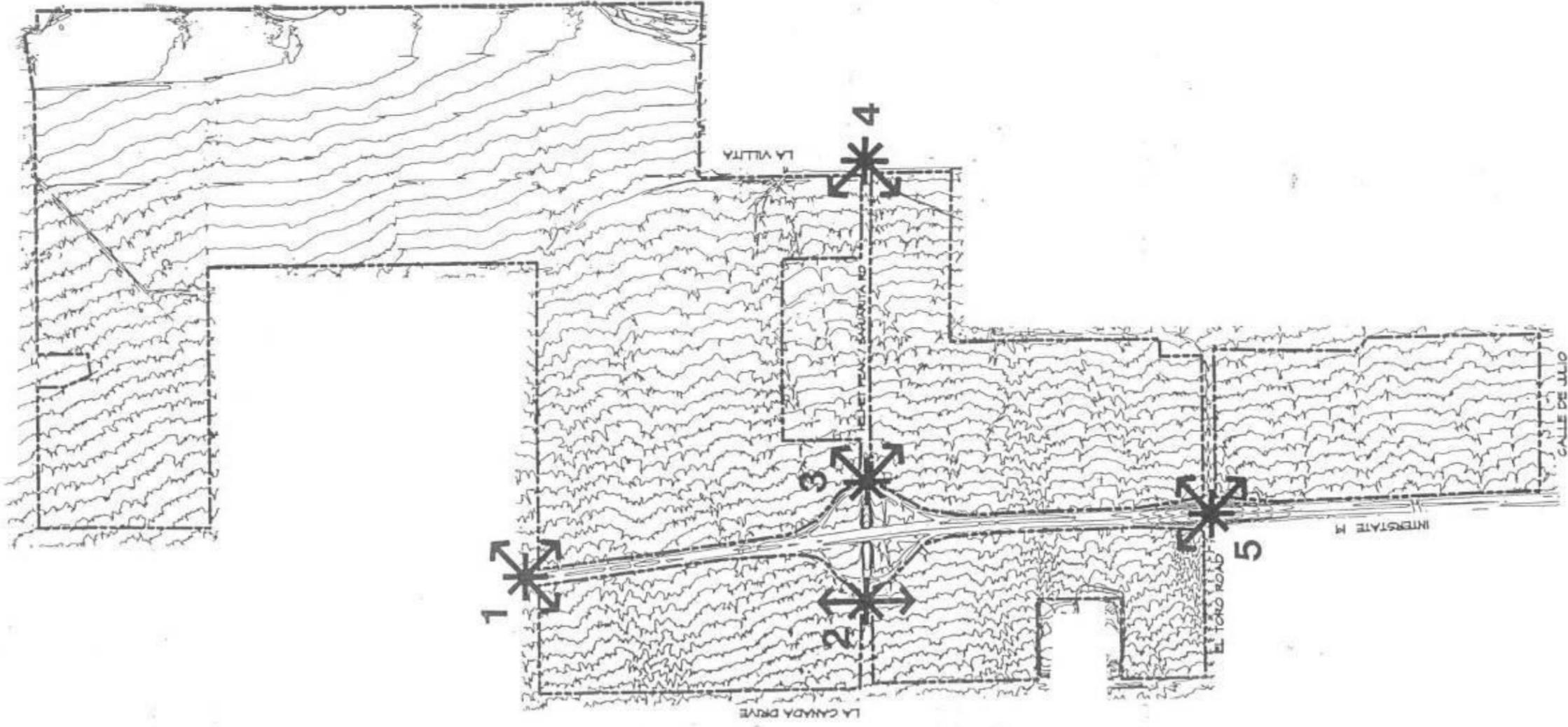
- b. Views and Vistas from Beyond Adjacent Properties: The foreground vegetation provides screening for most internal portions of the site in several perimeter vista locations. The raised perspective allowed by Interstate 19 over El Toro Road furnishes a view of the southeastern property. Due to the level site topography and the low vegetation height, the viewer tends to look beyond the sight from most perspectives.

2. **On-site Visibility from Off-site:** The quality of on-site visibility from nearby off-site locations is dependent on several factors, such as topography, type of vegetation, and density of vegetation. The following criteria has been used to define areas of high, medium, and low visibility:

<u>HIGH</u>	<u>MEDIUM</u>	<u>LOW</u>
<ul style="list-style-type: none">• Steep slopes, ridgetops, promontories, rock outcrops• Minimal perimeter vegetative variety to buffer visibility into site	<ul style="list-style-type: none">• Low/moderate slopes; few rock outcrops• Medium degree of perimeter vegetative variety/density limiting visibility into site	<ul style="list-style-type: none">• Little/no slope• High degree of vegetative density/variety, perimeter vegetation dense limiting visibility into site

Exhibit II-G.2: On-Site Visibility depicts areas of low, medium, and high visibility at Rancho Sahuarita. Based on the above criteria, the Rancho Sahuarita Specific Plan area has low and medium on-site visibility.

Off-Site Vistas

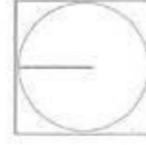


LEGEND



Viewpoint

EXHIBIT II-G.1
Off-Site Vistas



THE
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CENTER
110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ. 85701 (520) 623-5146

SCALE

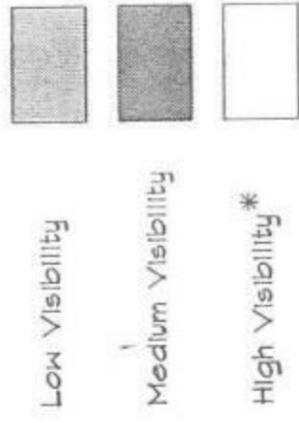


RANCHO SAHUARITA

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On-Site Visibility

LEGEND



* Note: No areas of High Visibility on site.

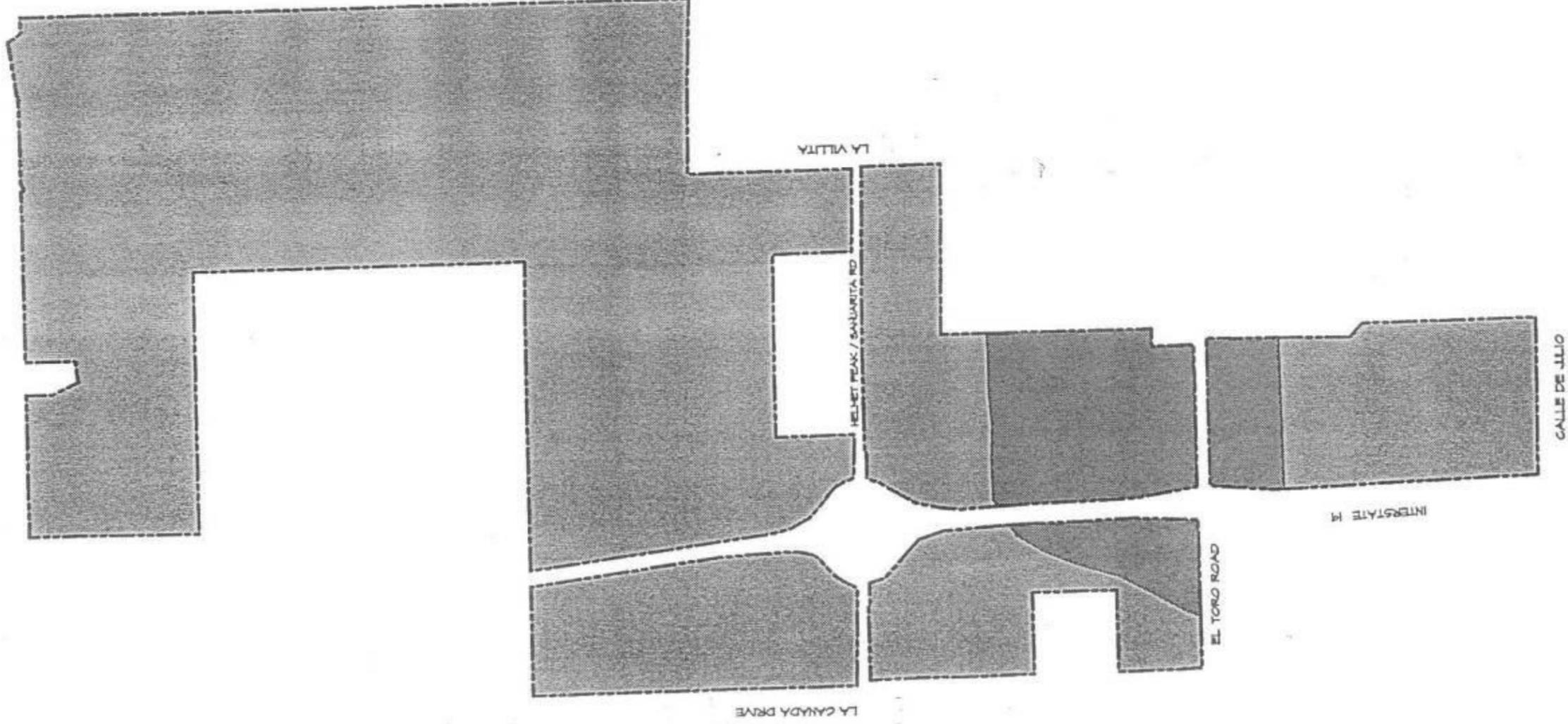
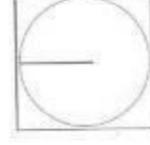


EXHIBIT II-G.2
On-Site Visibility



THE
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SCALE



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S A H U A R I T A, A R I Z O N A

H. Traffic:

1. **Existing and Proposed Off-site Streets:** The Rancho Sahuarita Specific Plan is regionally linked to both Pima and Santa Cruz County by Interstate 19, that parallels and bisects the property. Interstate 19 is the major connecting highway from Tucson and Interstate 10 south to Nogales, Arizona and Sonora, Mexico.

The planned connections to Interstate 19 will take place via the existing Sahuarita Road interchange and Pima Mine Road interchange.

The plan area connects to the Interstate 19 linkages using the proposed extension and improvement of La Cañada Drive along the western edge of the project; a new north to south connecting drive located approximately 500 feet east of the Interstate 19 alignment; and the completion of the north to south arterial road located approximately 3,000 feet east of the Interstate 19 alignment and as reflected within the Pima County Long Range Transportation Plan for unincorporated Pima County, 1986 to 2005. Currently, Sahuarita Road, El Toro Road, Villita, Twin Buttes and La Canada Drive provide direct access to the project. All other proposed roadway improvements will need to be constructed.

I. Sewers:

1. Letter from Pima County Department of Wastewater Management: A letter from Pima County Department of Wastewater Management has been included in Appendix D. In addition, a letter from the Pima County Administrator's Office directing PAG to begin the 208 amendment planning process is included in Appendix E.
2. Location of Existing Public Sewers: There are no existing public sewer facilities within the plan area that allow for a permanent long-term solution for wastewater treatment. Preliminary investigations indicate the potential for three treatment alternatives.
 - a. A force-main, pump-back system that will push and pump the wastewater uphill to the Green Valley Treatment System. This alternative is a less than ideal solution due to maintenance and operating costs combined with the probable off-site construction costs.

- b. Construct an off-site gravity interceptor system that collects the on-site wastewater flows and conveys them downhill to the north to connect to an existing sewer conveyance system and ultimately on to the Pima County Roger Road Treatment Plant. This alternative appears economically unfeasible due to potential constrictions in the existing conveyance system, the cost of the construction of the new interceptor system, and the treatment capacity of the Roger Road Plant.
- c. Utilize a phased, on-site treatment plant as further described in section III.E.2. This solution appears to be the best long term solution for the sewer basin of Rancho Sahuarita, and possibly even the greater Sahuarita town limits.

J. Schools:

- 1. **Existing/Proposed Schools:** The Rancho Sahuarita Specific Plan area is located within the Sahuarita School District. Three schools that currently serve the region are located on an adjoining site on Sahuarita Road and are shown of Exhibit II-J.1:Traffic/Sewer/Schools/ Recreation. These schools are:

School

Sahuarita Elementary
350 W. Helmet Peak Road
Sahuarita, AZ 85629

Sahuarita Junior High
350 W. Helmet Peak Road
Sahuarita, AZ 85629

Sahuarita Senior High
350 W. Helmet Peak Road
Sahuarita, AZ 85629

All current Sahuarita School enrollments are nearing or exceeding capacity. The plan proposes several locations for future school sites. A \$30 million bond has been passed for construction of a new high school, and renovations of the existing school facilities. This bond will provide new facilities, giving ample capacity for the near term student enrollment growth.

Traffic, Sewer, Schools and Recreation

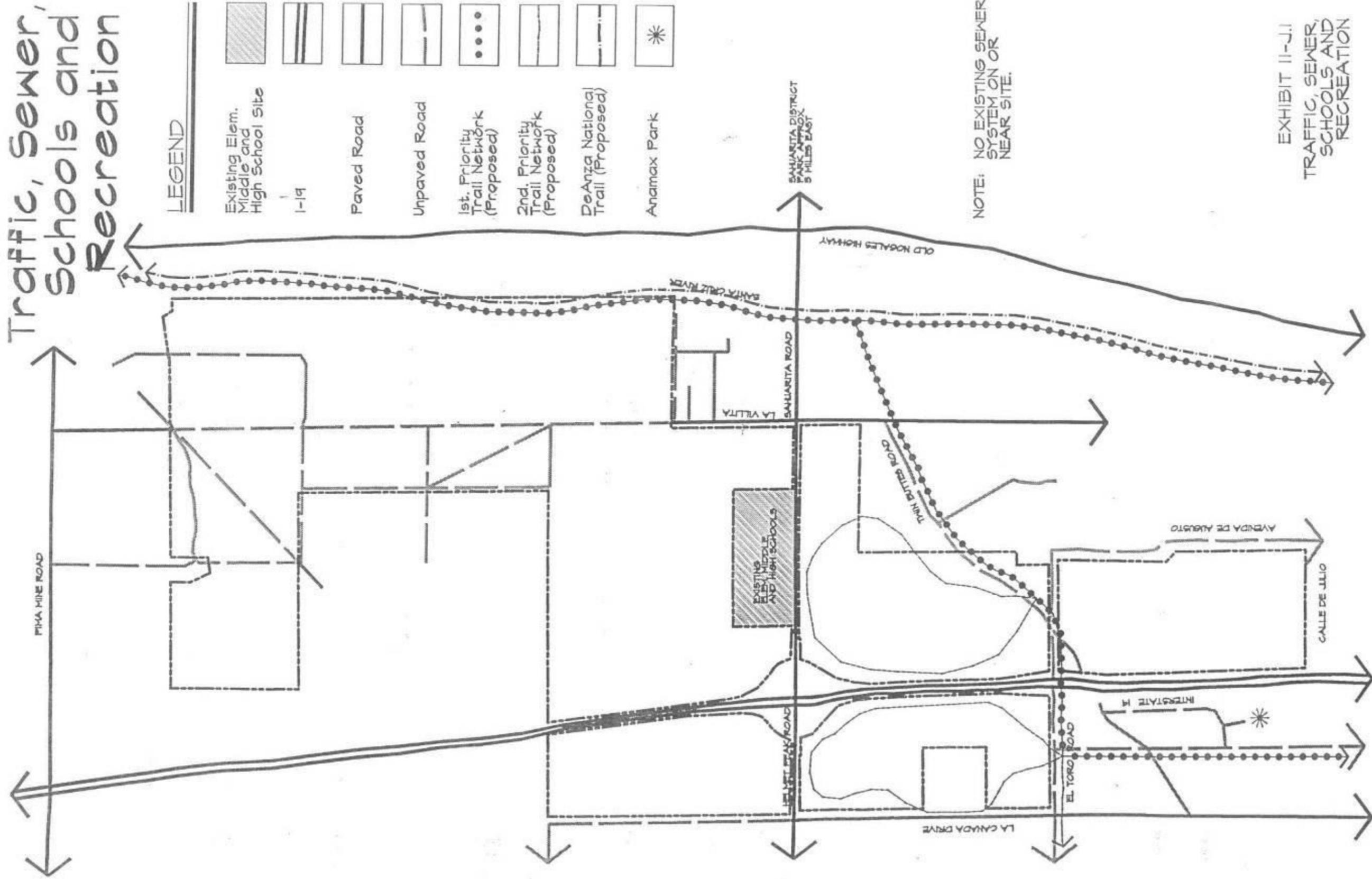
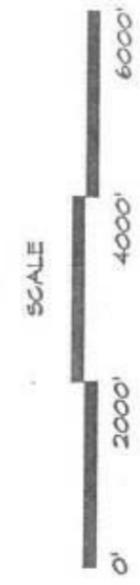


EXHIBIT II-J.I
TRAFFIC, SEWER, SCHOOLS AND RECREATION



RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

K. Recreation and Trails:

- 1. Parks, Recreation Areas, and Adopted Public Trails:** The Santa Rita Mountains, to the east of the subject property, contain a portion of the Coronado National Forest. Of special interest is the Madera Canyon recreation area, located approximately 16 miles to the southeast of the site. This area includes three campgrounds, several picnic facilities and a trail system. Trail heads connect to a system which leads to the summit of 9,453 foot Mt. Wrightson.

Tubac Presidio State Historic Park is located 25 miles to the south on Interstate 19 and provides a picnic ground, visitor's center, archaeological display and historic schoolhouse. Tumacacori National Monument, located 29 miles to the south, is the site of a former Spanish mission and includes trails, picnic areas and an interpretative museum. San Xavier Mission lies approximately 7 miles northwest of the site.

Anamax Park, with lighted athletic fields, play areas, and ramadas is due west of the site across Interstate 19. (See Exhibit II-J.1: Traffic/Sewer/Schools/Recreation). Approximately three miles east of the Specific Plan site is Sahuarita District Park. Also, there are a number of private and public golf courses within the Green Valley area.

Public trails located in the vicinity of the site include Local Trail No. 294 which uses the existing El Toro Road right-of-way. The Eastern Pima County Trail System Master Plan also shows two proposed loop trails, the Helmet Peak Trail No. 286, both of which run north of the El Toro Road Trail.

The Santa Cruz River is a candidate for a first priority Primary Trail according to the 1989 *Eastern Pima County Trail System Master Plan*. When constructed, this planned linear park will provide multi-use recreational opportunities and complete accessibility.

A portion of the site adjacent to the west bank of the Santa Cruz River may have been the route of the Juan Bautista de Anza expedition that set out from Tubac, Arizona to found the city of San Francisco, California. The Rancho Sahuarita site may be near the site of Llano Grande, where Juan Bautista de Anza and his 1776 expedition camped the second night of their journey. Due to the historical significance, a proposed national historic trail (The De Anza Trail), as shown on Exhibit II-J.1, may impact a small portion of the site. The portion of the site impacted by the

proposed trail is currently designated as open space (see Exhibit III-C.1). The Master Developer is not obligated to build this facility, but will work on a cooperative basis with the Town of Sahuarita.

L. Cultural/Archaeology/Historic Resources:

Letter from Arizona State Museum: Portions of the Specific Plan area have been surveyed according to the Arizona Archaeological Site Survey Files. A total of twelve (12) archaeological and historic sites have been documented on the property (AZ EE:1:140 - 149, AZ EE:1:87. and AZ E:1:2). The twelve known sites appear to represent a Hohokam village complex comprised of one extensive village and a number of smaller habitations, field houses, and camp sites or resource processing sites. Many of these sites have the potential for buried pithouses, burials, and other features.

Letters from the Arizona State Museum concerning all recorded surveys on the property may be found in the Appendix F. Due to the size of the area and the number of sites previously located, the Arizona State Museum recommends an on-the-ground survey be conducted prior to any ground modification activities.

A ground survey has been conducted by David Stephens of the firm Professional Archaeological Services and Technologies. The results of that survey, dated November 14, 1995, are on file with the Town.

M. Air Quality:

Pollutants that affect air quality are of great concern to the residents of the Tucson metropolitan area. Recently, air quality has become an important consideration for planning and analyzing growth in eastern Pima County.

Air quality is affected by air pollution and climatic conditions. Air pollution is a complex combination of gases and particles from a variety of sources that can cause health and aesthetic problems. The Environmental Protection Agency (EPA) has set standards for safe levels of common pollutants.

Common air pollutants in the Tucson metropolitan area are: carbon monoxide (CO); Ozone; Nitrogen Dioxide (NO₂); Sulfur Dioxide (SO₂); Sulfates (SO₄); Non-Methane Hydrocarbons (NMHC); Lead (Pb); and particulate matter ten microns or less (PM10). Of these, carbon monoxide, ozone, and PM10 cause the greatest concern.

Carbon monoxide is an odorless, invisible gas produced by incomplete combustion of fuels. Ozone is the principle constituent of photochemical

smog (the "brown cloud"). In addition to being a health hazard for humans, ozone causes damage to vegetation. Ozone is formed by the reaction of nitrogen oxides and hydrocarbons in the presence of sunlight. Particulate matter consists of suspended solids or liquids less than ten microns. PM10 affects visibility and is a health hazard.

Discussion: Rancho Sahuarita is located in the predominant air current path along the major system paths which affect the greater Tucson Valley. There are no significant physical features on the site to shift existing air movements.

In general, the air pressure patterns flow from the Santa Cruz River Valley from the southeast to the northwest in the evenings and early mornings, and northwest to southeast or westerly in the afternoon. The Santa Cruz geological depression has a minor effect on wind direction by channeling air flow along the low valley from the southeast to northwest.

Generally, the Rancho Sahuarita area enjoys some of the best air quality in the Tucson Basin. The air patterns from the Santa Cruz River Valley today tend to clean the air of any dust or auto emission particulates in the air. However, dust from the mine tailings do cause periodic problems when winds are from the west.

N. Composite Map:

The purpose of the composite map is to identify areas on-site with multiple site characteristics which may require special evaluation in regards to proposed development. The Composite Map, Exhibit II-N.1, graphically illustrates the synthesis of site opportunities and constraints identified in the Inventory and Analysis section.

The site characteristics identified on the composite map are those specified in the "Town of Sahuarita Site Analysis Requirements". The following characteristics are considered:

1. **Existing Uses:**
 - Utility easements on site
 - Power transmission lines
 - Railroad tracks

 2. **Topography:**
 - Protected peaks and ridges
 - Rock outcrops
 - Slopes between 15 percent and 25 percent
-

III. DEVELOPMENT PLAN:

A. Purpose and Intent

Rancho Sahuarita is a planned residential, recreational, and regional employment center community. The proposed development plan includes over 600 acres of open space and over 59 acres of school/recreational facilities. Recreational facilities are planned as an integral part of all residential development areas, as well as at proposed school sites. Private recreational facilities will also be provided throughout the project in conjunction with residential subdivisions. A system of pedestrian, bicycle and equestrian trails is also provided throughout the project.

This section contains a description of Plan goals, combined with various specific plan components. These components provide the rationale for development regulations found in Section VI.

The project development plan is the result of thorough site analysis and research. As a result, the Plan resolves, as much as possible, development related issues in the form of proposed physical plans, improvements, guidelines for future development, technical information and regulations.

B. Goals

In recognizing the major development issues, the landowners' objectives and the Town of Sahuarita's requirements, a set of development plan goals have been established:

- Implement and clarify the goals and policies of the Town of Sahuarita;
- Ensure coordinated, responsible planning through the use of cohesive procedures, regulations, standards and guidelines;
- Provide a development phasing plan which is a general and logical estimate of how development will occur;
- Process and adopt a Specific Plan which will provide a conceptual understanding of development and future growth for the region and the specific plan area;
- Provide land uses, based on current, anticipated, and future demands with a range of opportunities;
- Provide a backbone infrastructure system and public facilities to support development in an efficient and timely manner;
- Utilize the drainageways as a community amenity for recreation, open space, habitat preservation and habitat linkage;
- Provide a land use plan that not only respects the adjacent land uses, but will contribute to the overall quality of the community;
- To incorporate and implement standards that are economical for the developer and are consistent with the Town of Sahuarita's standards and can reasonably be accommodated in the project;

- To provide an infrastructure system, including, but not limited to sewer, water and drainage systems that will adequately serve full build-out of the development;
- Provide, within the Specific Plan, a community image that enhances the existing surrounding neighborhood;
- Establish Design Guidelines covering four topical areas including site planning, landscape architecture, architecture, and signage to ensure a quality appearance and identity for Rancho Sahuarita;
- Establish a conceptual landscaping treatment with recurring elements to unify the development and reinforce the circulation and open space components of the project;
- Enhance the existing Town of Sahuarita community atmosphere;
- Promote the new development as a pedestrian oriented community;
- Develop design guidelines for the project that will provide for and encourage variations in the design of all structures.

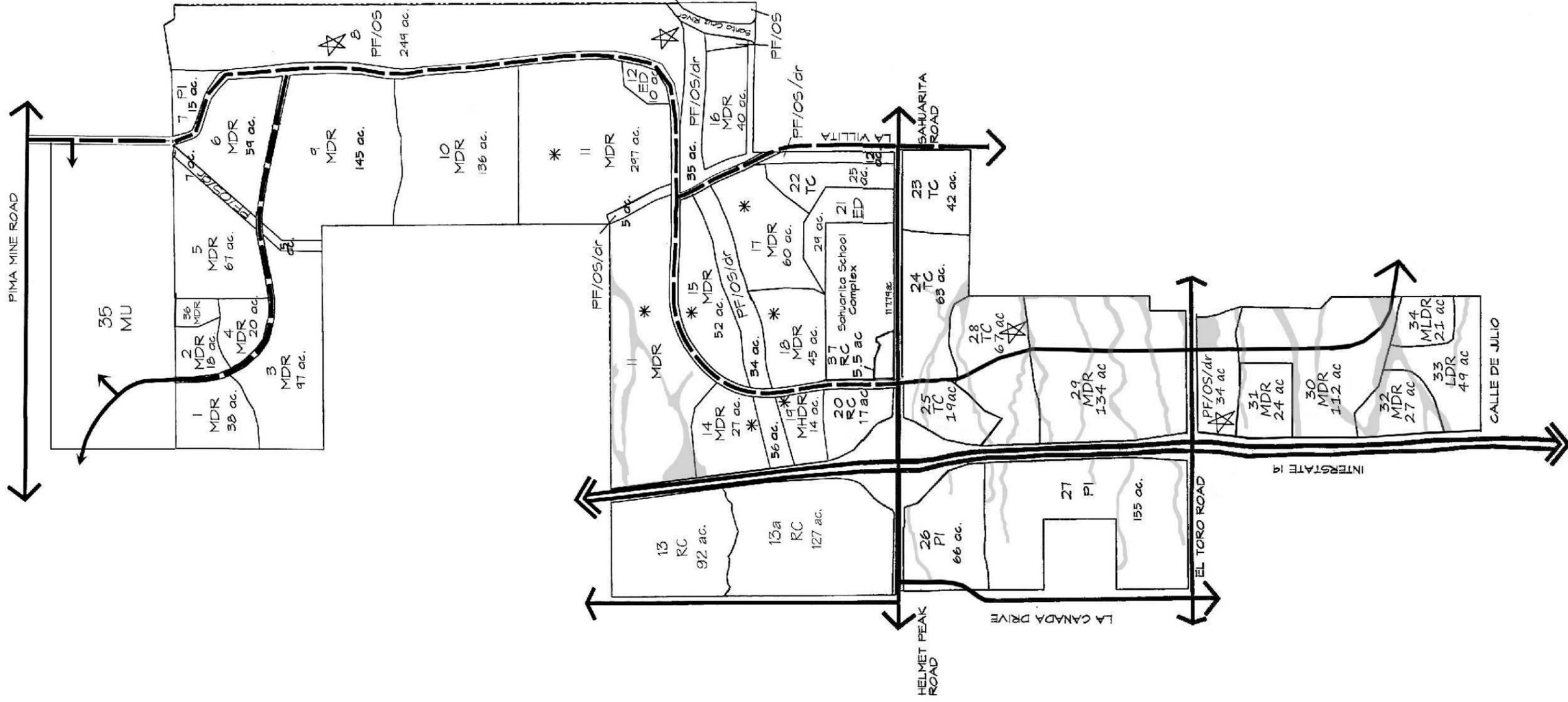
C. Land Use Plan

The Rancho Sahuarita Specific Plan encompasses approximately 3,084 acres and is divided into thirty-six (36) land use planning areas (See Exhibit III-C.1: Land Use Plan). The proposed primary land use allocation is summarized in Table III-1. The acreage of the planning areas are gross acreages and include land to be allocated to the residential circulation system. As much as possible, the design of the project presents the areas as a planned residential/recreational community adjacent to the centralized town center and employment center. All land uses are integrated regarding circulation, infrastructure, open space, drainageways, environmental resources, visual setting, development standards and guidelines.

There are a total of ten different land use categories, including four residential, two commercial, one mixed-use, and one industrial category. Residential densities vary depending on their location. The lowest densities are located at both the north end and south end of the site to provide a buffer to adjacent properties, with a clustering of more intense residential uses adjacent to the town center. The proposed Rancho Sahuarita Land Use Plan is in substantial conformance with the Conceptual Land Use Element of the Pima County Comprehensive Land Use Plan. (See Exhibit I-C.2: Pima County Comprehensive Plan Translation Map).

In addition, open space found along the drainageways and along the eastern boundary, adjacent to the Santa Cruz River, will provide additional area for the community's recreation, open space, and effluent reuse.

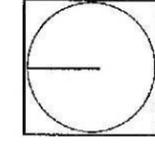
LAND USE PLAN



LEGEND

LDR	Low Density Residential (1 RAC)
MLDR	Medium Low Density Residential (3 RAC)
MDR	Medium Density Residential (6 RAC)
MHDR	Medium High Density Residential (10 RAC)
HDR	High Density Residential (22 RAC)
MU	Mixed Use
TC	Town Center
RC	Regional Commercial Center
PI	Park Industrial
PF/OS	Public Facilities/ Open Space
ED	Education
PF/OS/dr	Proposed Drainage (see Exhibit III-F.1)
*	Resort as Permitted Use
☆	Park - Approx. 4-5 acres (location, type of facilities and equipment to be determined by needs assessment at time of development).
■	Total Open Space / Drainage Area per Current 2013 Tentative Plat

EXHIBIT III-C.1
LAND USE PLAN



THE PLANNING CENTER
110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 623-6146

SCALE



RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

**TABLE III-1
RANCHO SAHUARITA SPECIFIC PLAN LAND USE BY POD**

POD	ZONING	ACRES	MINIMUM LOT SIZE (SQ. FT.)	RAC	DWELLING UNITS
1	MDR	38	5000	6	228
2	MDR	18	5000	6	108
3	MDR	97	5000	6	582
4	MDR	20	5000	6	120
5	MDR	67	5000	6	402
6	MDR	59	5000	6	354
7	PI	15		22	*
8	PF/OS	249			0
9	MDR	145	5000	6	870
10	MDR	136	5000	6	816
11	MDR	307	5000	6	1782
12	E	10			0
13	RC	219		22	*
14	MDR	35	5000	6	162
15	MDR	52	5000	6	312
16	MDR	40	5000	6	240
17	MDR	60	5000	6	360
18	MDR	45	5000	6	270
19	MHDR	18	3500	10	140
20	RC	22		22	*
21	E	29			0
22	TC	25		22	*
23	TC	42		22	*
24	TC	63		22	*
25	TC	19		22	*
26	PI	66		22	*
27	PI	155		22	*
28	TC	67		22	*
29	MDR	134	5000	6	768
30	MDR	112	5000	6	550
31	MDR	24	5000	6	98
32	MDR	27	5000	6	138
33	LDR	49	35000	1	46
34	MLDR	21	8000	3	63
35	MU	265	1500	22	946
36	MDR	9	5000	6	54
37	RC	5.51		22	*
DRAINAGE		196			0
RIGHT OF WAY		129			0
TOTAL ACRES		3089.51			
TOTAL DWELLING UNITS					11,680
GROSS DENSITY					3.79

* The combined total dwelling units for, PI, RC and TC shall not exceed 2,271 unless density transfer provisions utilized.

**TABLE III-2
RANCHO SAHUARITA SPECIFIC PLAN LAND USE SUMMARY**

LAND USE DESIGNATION	MIN. LOT SIZE (SQ. FT.)	MAXIMUM DENSITY (RAC)	GROSS DEVELOPABLE ACRES*	TARGET DWELLING UNITS***
LDR: Dev. Pod 33	35,000	1.0	49	46
MLDR: Dev. Pod 34	8,000	3.0	21	63
MDR: Dev. Pods 1, 2, 3, 4, 5, 6, 9, 10, 11, 14, 15, 16, 17, 18, 29, 30, 31, 32 & 36	5,000	6.0	1405	8,214
MHDR: Dev. Pod 19	3,500	10.0	18	140
MU Dev. Pod 35	1,500		265	946
RC: Dev. Pods 13, 20 & 37			246.51	
TC: Dev. Pods 22, 23, 24, 25, & 28			216	
PI: Dev. Pods 7, 26 & 27	25,000	22.0**	236	2,271**
E: Dev. Pods 12 & 21			59	0
PF/OS: Dev. Pod 8			249	0
Right of Way			129	0
Drainage - PF/OS/dr			196	0
Maximum Dwelling Cap				11,680
Total Gross Developable Acres			3,089.51	

* Gross acreages are approximate.

** The combined total dwelling units for, PI, RC and TC shall not exceed 2,271 unless density transfer provisions utilized.

*** Target dwelling units may change depending on actual developable area.

D. Circulation Concept Plan:

- 1. General Description:** All internal roads will be designed for town or district ownership, operation and maintenance unless designated as a private roadway in the subdivision process, and will be local in both their scale and character. This use of local-scale streets is justified in light of the relatively low volumes of traffic to accommodate and the rural setting of the site. The general alignment for the primary street network for the Plan Area has been delineated on Exhibit III-D.1: Circulation Plan.

The primary entrance to the northeast and southeast portions of the site intersects with Sahuarita Road approximately 500' east of the Interstate 19 on and off ramps. This roadway will extend north bisecting the property to intersect with Pima Mine Road. This connection will also extend south of Sahuarita Road to the southern boundary of the project. This primary entry roadway will initially be improved to two lanes of paved roadway with dedicated rights-of-way that allow for future widening to four (4) lanes (if warranted through a traffic study). The determination of whether or not to install street lights, design speed, street geometrics, and other design features, as recommended by the Town Engineer, will be determined at the time of block platting. All street lights shall be owned, operated and maintained by the Community Facilities District. This roadway will ultimately serve as the major north-south arterial road in this area as identified within the Pima County Long Range Transportation Plan. This roadway is anticipated to serve as a local arterial with minimum design speeds of 35 mph.

A second linkage to the northeast portion of the project from Sahuarita Road will be accomplished utilizing La Villita Road, approximately 5,000' east of Interstate 19 ramp. The roadway has been improved to two lanes of asphaltic concrete pavement with a final future rights-of-way to accommodate two 15' wide traffic lanes. It is anticipated this local secondary will be designed with a minimum 35 mph design speed.

The southwest portion of Rancho Sahuarita will be accessed via Sahuarita Road and La Cañada Drive. The northwest portions of Rancho Sahuarita will be accessed via Sahuarita Road.

All of the Project's on-site residential streets will be designed per adopted cross-sections for town or district acceptance (unless designated as private in the subdivision process), and will be local in both their scale and character (see Street Sections D and E, Exhibit III-D.2). Streets will be maintained by the Master Developer until such time as they are accepted for maintenance by the Town Engineer. This use of local-scale streets is

justified in light of the relatively low volumes of traffic to accommodate the rural setting of the site.

Private streets would be identified on a case-by-case basis by the individual developer or builder. Private streets would be appropriate in cases such as gated communities. Waivers to the adopted street standards shall be considered by the Planning and Zoning Commission on a case by case (or plat by plat) basis.

The proposed street cross-sections vary depending upon their functional requirements and specific settings. For example, the low density and medium low density lots, located in the southern and northern portions of the Project, will be served by a relatively narrow street having a minimum 40' right-of-way width.

In addition, innovative design is encouraged for local streets and development to minimize automobile traffic and place emphasis on pedestrian-oriented communities. Such innovations include multiple use private drives and hammerhead designs for clustered developments.

2. **Proposed Street Cross-Sections:** Initially, the project will utilize four (4) different street cross-sections as indicated on the Circulation Plan. These cross-sections depict the development cross-sections, and represent a minimum standard.

Street Sections A and B represent the main entry drive of the Plan Area (See Exhibit III-D.2: Street Cross-Section). This street will be the widest utilized in the Project and will initially be comprised of two 12' travel lanes. This street section allows separate 8' bike lane within the right-of-way. Curbs shall be vertical.

Street Section C illustrates the primary local collector providing direct access to many of the planning areas (See Exhibit III-D.2: Street Cross-Section). This street cross-section will consist of two (2) 15' travel lanes with a sidewalk on one side of the street.

Street Section D depicts the standard street section to be utilized within the majority of the planning areas (See Exhibit III-D.2: Street Cross-Section). This street will be the predominant subdivision street and provide direct access to individual residential lots. Curbs may be wedge, vertical or ribbon. This street cross-section will consist of two (2) 12'-foot travel lanes where off-street visitor parking is provided. The combined width of travel lanes shall total 26' in those areas where on-street parking is designated, with parking restricted to one side only. Curbs in this case shall be wedge, and no parking signs will be posted opposite the designated parking areas.

Street Section E represents the typical cross-section for the low density development areas (See Exhibit III-D.2: Street Cross-Section). This street cross-section will serve the low density lot planning areas in the southern and northern portions of the Specific Plan area. Its narrow right-of-way width and pavement will best respond to the low traffic demand in these areas. Curbs may be wedge, vertical, or ribbon. This street cross-section will consist of two (2) 12'-foot travel lanes where off-street visitor parking is provided. The combined width of travel lanes shall total 26' in those areas where on-street parking is designated, with parking restricted to one side only. Curbs in this case shall be wedge, and no parking signs will be posted opposite the designated parking areas.

Ultimately, if traffic demands warrant, the primary cross-section (Street Section A) will be widened to accommodate 4 divided traffic lanes, median, utility easements and pedestrian walks.

Street sections F, G and H represent the proposed ultimate Greenough Road cross sections, transitioning from Rancho Sahuarita Boulevard north to Pima Mine Road. Generally, Greenough Road will serve as the primary point of access to the community from the north. Projected traffic indicates that Greenough should be a four-lane roadway from Pima Mine Road to the entrance road into Pod 35. Past that point, the roadway will taper to meet the current cross section of Rancho Sahuarita Boulevard. The interim 2 lane road being planned for Greenough Road will be all weather access at its connection to Rancho Sahuarita Boulevard and may ultimately be replaced with these proposed street sections once measured traffic counts warrant expansion of this road section.

The existing access point for Pod 23 will be an arterial street with a 100-foot right-of-way. Town Center-1 (Street Section I) includes four travel lanes and median with bike lanes and sidewalks on both sides of the road. Street Section I.1-I.3 provides alternative street configurations with varying right-of-way widths to provide development flexibility within the Town Center Pods.

Street cross-sections not included in the Specific Plan may be requested by the Town or proposed by the applicant during the Tentative Plat process for use in limited circumstances. All street cross-sections must be approved by the Town Engineer and the Planning & Building Director.

3. **Change in ADT:** The Project will generate additional ADT's over the course of development as described in the Traffic Analysis Study prepared by Lee and Associates, and referenced in the Development Agreement between the Master Developer and the Town of Sahuarita.

Evaluation of the interim roadway cross-sections included within the Circulation Plan indicate the capacity of the interim sections A-A, B-B, F-F, G-G, and H-H can convey up to 16,000 ADT's with restricted access and at level of service "C".

4. **Minimization of Impact Upon Local Streets:** The Project will utilize an almost entirely self-contained street network employing limited ingress/egress routes to existing Sahuarita Road (a major public route). Proposed ingress/egress routes represent off-site extensions primarily utilizing existing public rights-of-way and shall be constructed by the developer or the District and may be dedicated to the Town of Sahuarita.
5. **Transit Routes:** No mass transit bus routes or attendant facilities are proposed.
6. **Pedestrian and Bike Paths:** Pedestrian and bike paths and/or refuge areas shall be provided. These facilities will be adjacent to the project's major boulevards as indicated on the proposed street cross-section A. Bike paths should parallel the major arterial and penetrate adjacent development areas.

Sidewalks along streets should be designed and located no closer than 3' to automobile travel lanes.

A cart path separate from the public street network will be associated with the proposed golf courses, and will not be allowed in conjunction with public streets except at crossings. The final alignment of this path through the course shall be determined at final golf course phase design. The golf cart path may be parallel to the streets, but must be physically separated by a minimum 5' wide landscape buffer.

7. **Emergency Access:** Emergency access will be provided to all planning areas. Emergency access may consist of graded roads, not all-weather access, on an interim basis.
8. **Updating of Master Traffic Impact Report:** Approval of any subdivision plat in areas south of Sahuarita Road will require acceptance by the Town Engineer of a comprehensive update of the Rancho Sahuarita Master Traffic Impact Report as originally completed in 1995.

E. Public Facilities:

- 1. Water System:** The Rancho Sahuarita planning area encompasses approximately 3,084 acres of proposed mixed-use development. Currently, potable water found near the planning area includes water used for Sahuarita School District Complex, located on the north side of Sahuarita Road, about 2,000 feet east of the Sahuarita Road and Interstate 19 interchange, Las Quintas Water Company, and FICO.

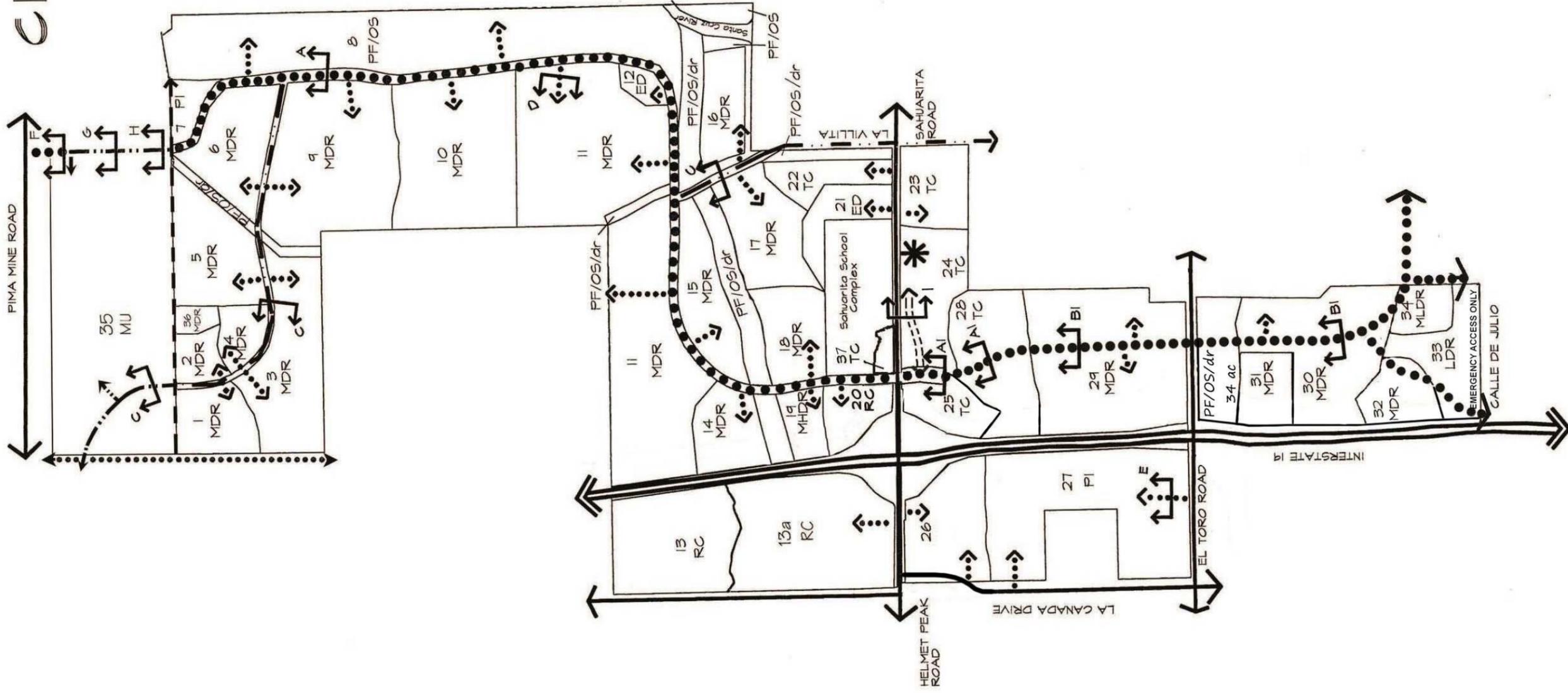
The owners of Rancho Sahuarita have incorporated the Interchange Water Company (IWC), which has obtained a Certificate of Convenience and Necessity from the Arizona Corporation Commission. The proposed water utility service area is the same as Rancho Sahuarita.

IWC will comply with all ACC and DWR requirements, and is in the process of obtaining its "Designation of Assured Water Supply. Since alternative supplies are considered as part of the application, golf courses are factored into that process. A development plan will be submitted for any golf course development within the Rancho Sahuarita Specific Plan area. The golf course will meet DWR standards for water use.

The Development will be served by multiple wells, surface storage tanks, and booster systems. The distribution will consist of main lines of sufficient size to serve both domestic demand and fire flow.

The existing farming supply wells, which are located in Sections 1 and 28 located north of Sahuarita High School, will be incorporated into the water system to the extent allowed by physical condition and water quality. Additional wells may be drilled south of Helmet Peak Road to augment the water supply and add reliability to the distribution system.

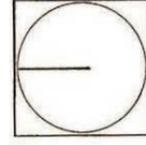
CIRCULATION PLAN



LEGEND

- Interstate I₉
- Existing/Proposed Public Right-of-Way
- Primary (A, B)
Interim Development: 2 Lanes
Ultimate Development: 4 Lanes
- Collect (C)
Interim Development: 2 Lanes
Ultimate Development: 4 Lanes
- Residential (D, E)
- Typical Street Section Type
- Proposed Sahuarita Corridor
- Municipal Complex
- Typical Main Street Alignment

EXHIBIT III-D.1
CIRCULATION PLAN



THE PLANNING CENTER
110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 623-6146

Revised 08/2014

SCALE

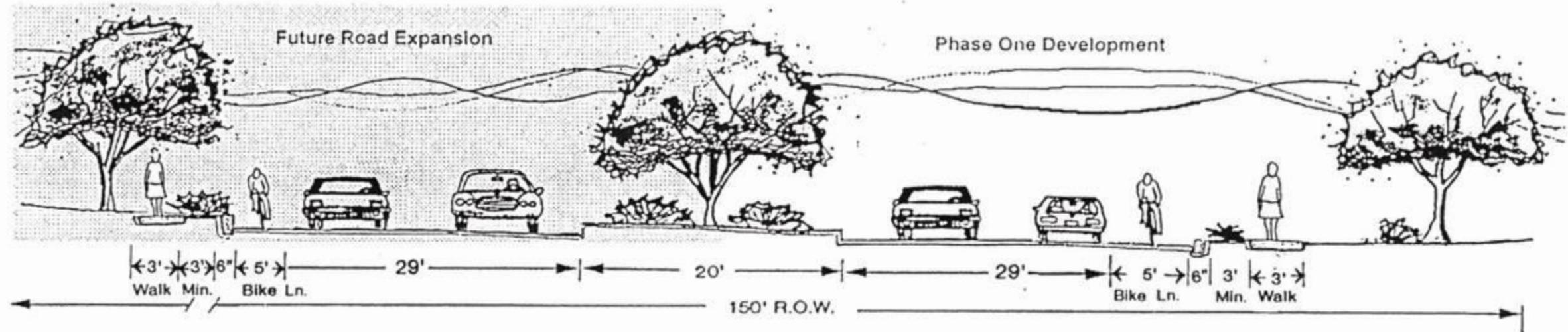


RANCHO SAHUARITA

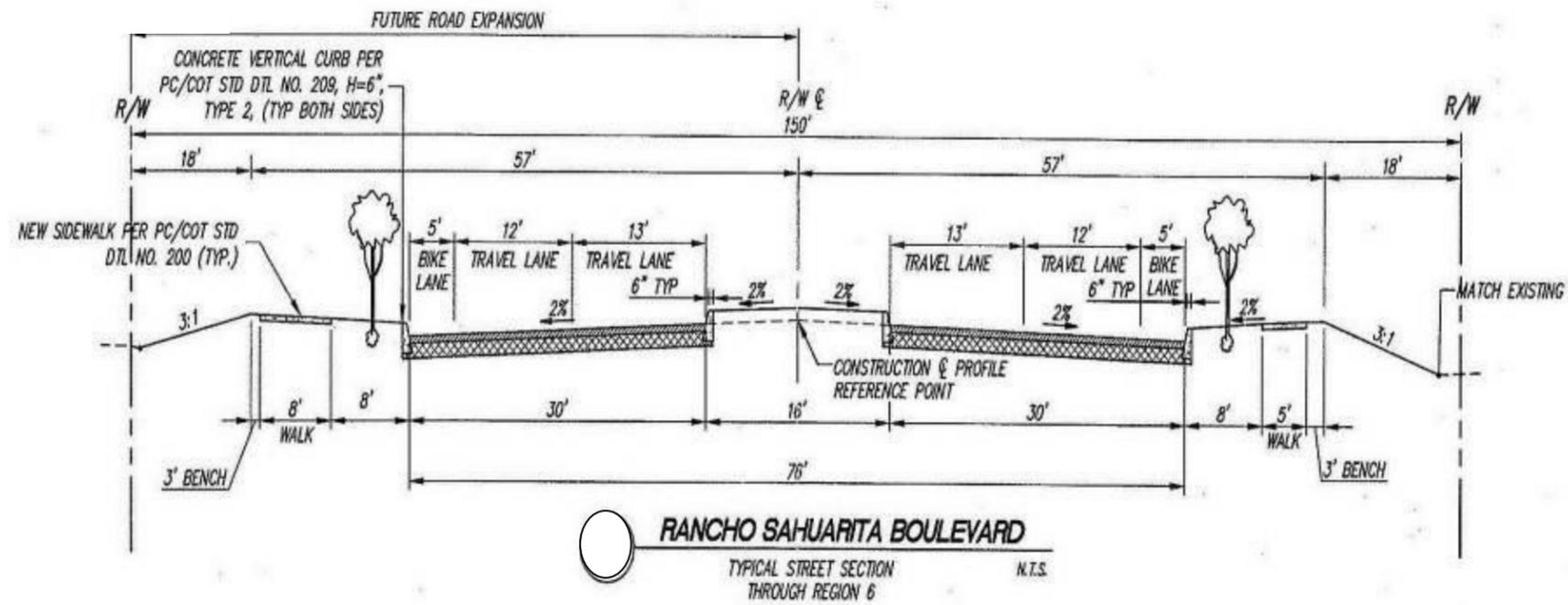
S A H U A R I T A , A R I Z O N A

Rev. 11/02; 10/03; 4/06;
4/09; 1/16; 7/18; 7/20; 01/22

Exhibit III-D.2: Street Cross-Section

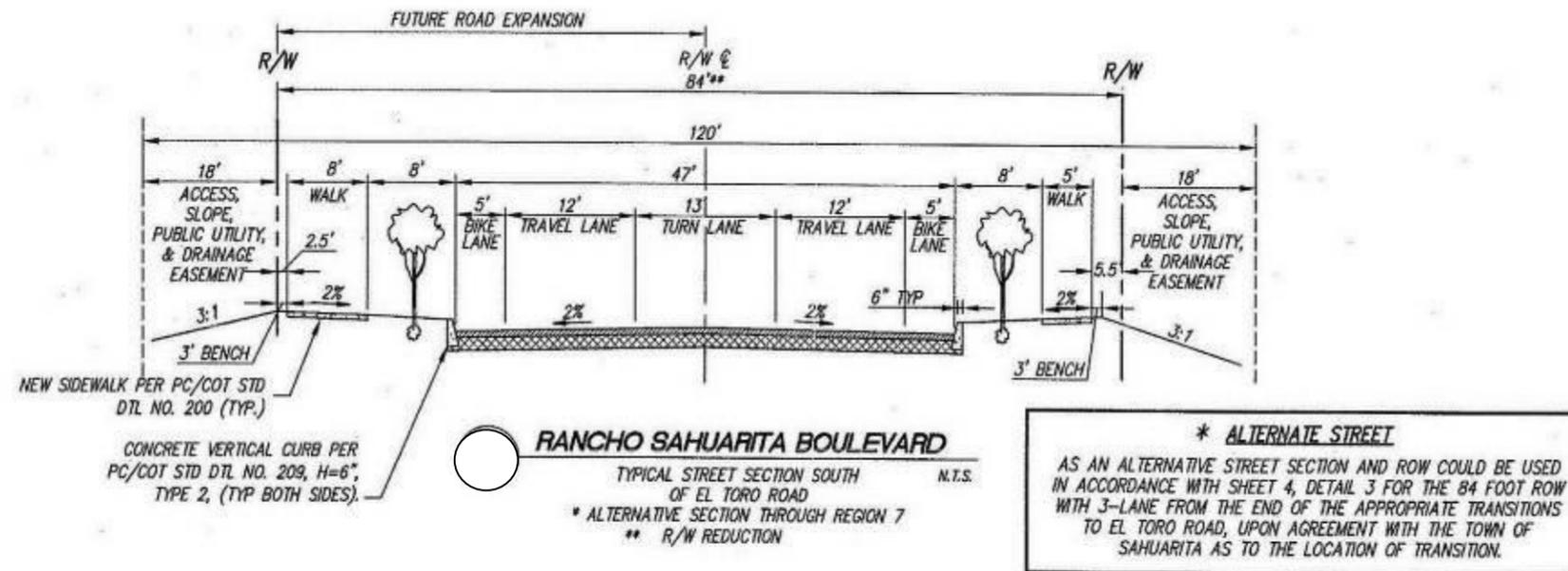
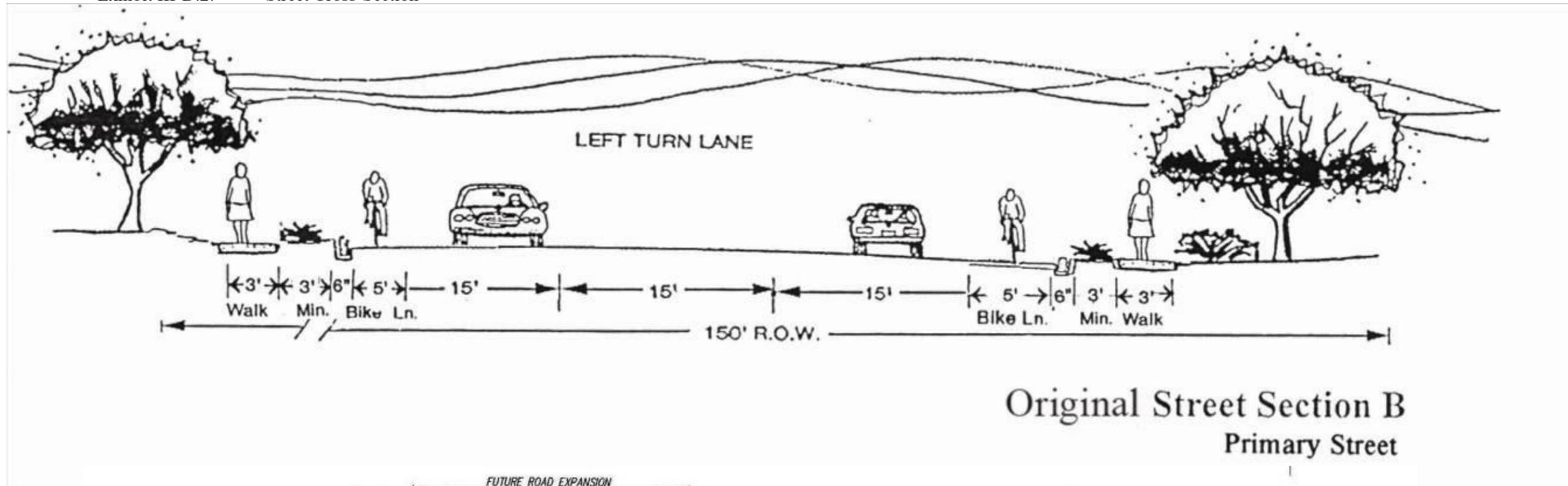


Original Street Section A
Primary Street



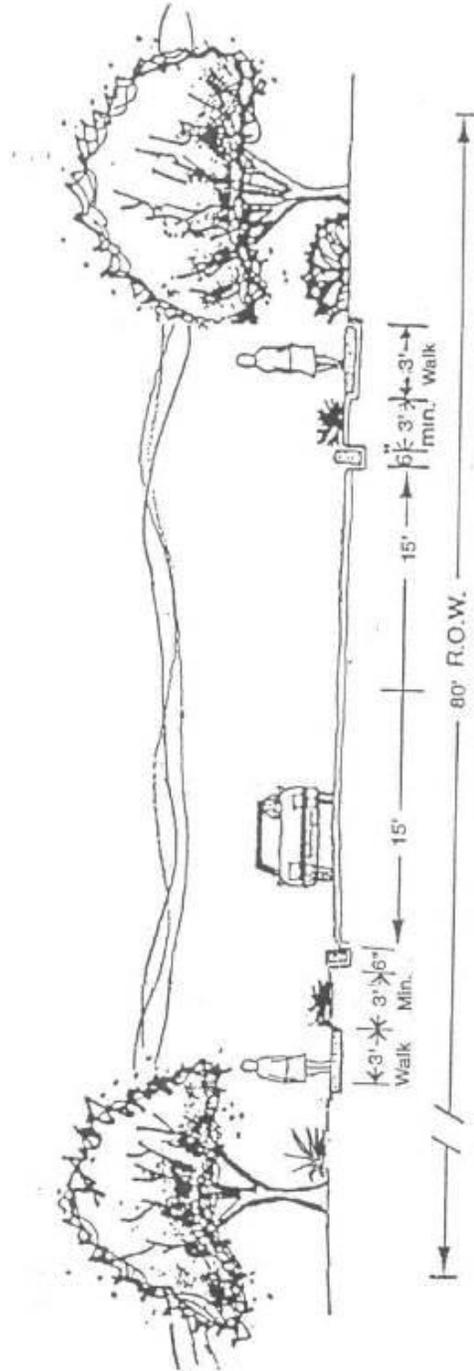
ALTERNATIVE STREET SECTION A1

Exhibit III-D.2: Street Cross-Section



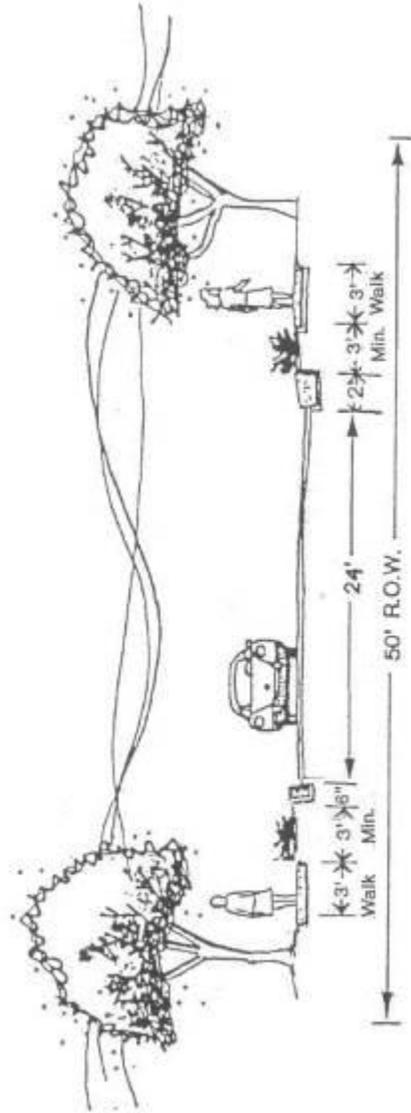
ALTERNATIVE STREET SECTION B1

Exhibit III-D.2: Street Cross-Section Cont.

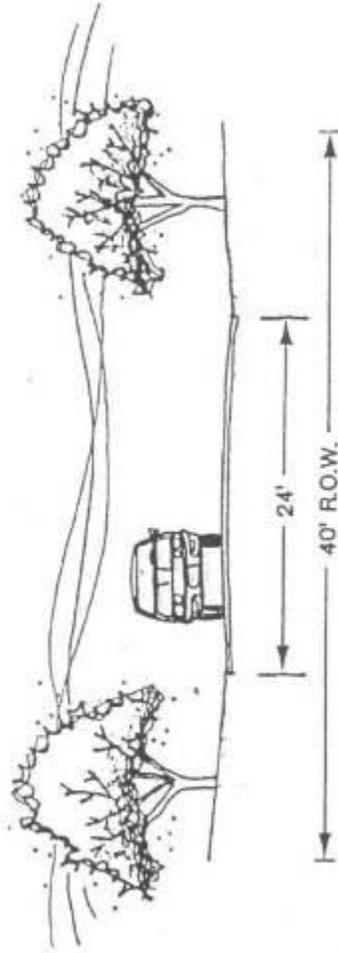


Street Section C
Collector Street

Exhibit III-D.2: Street Cross-Section cont.

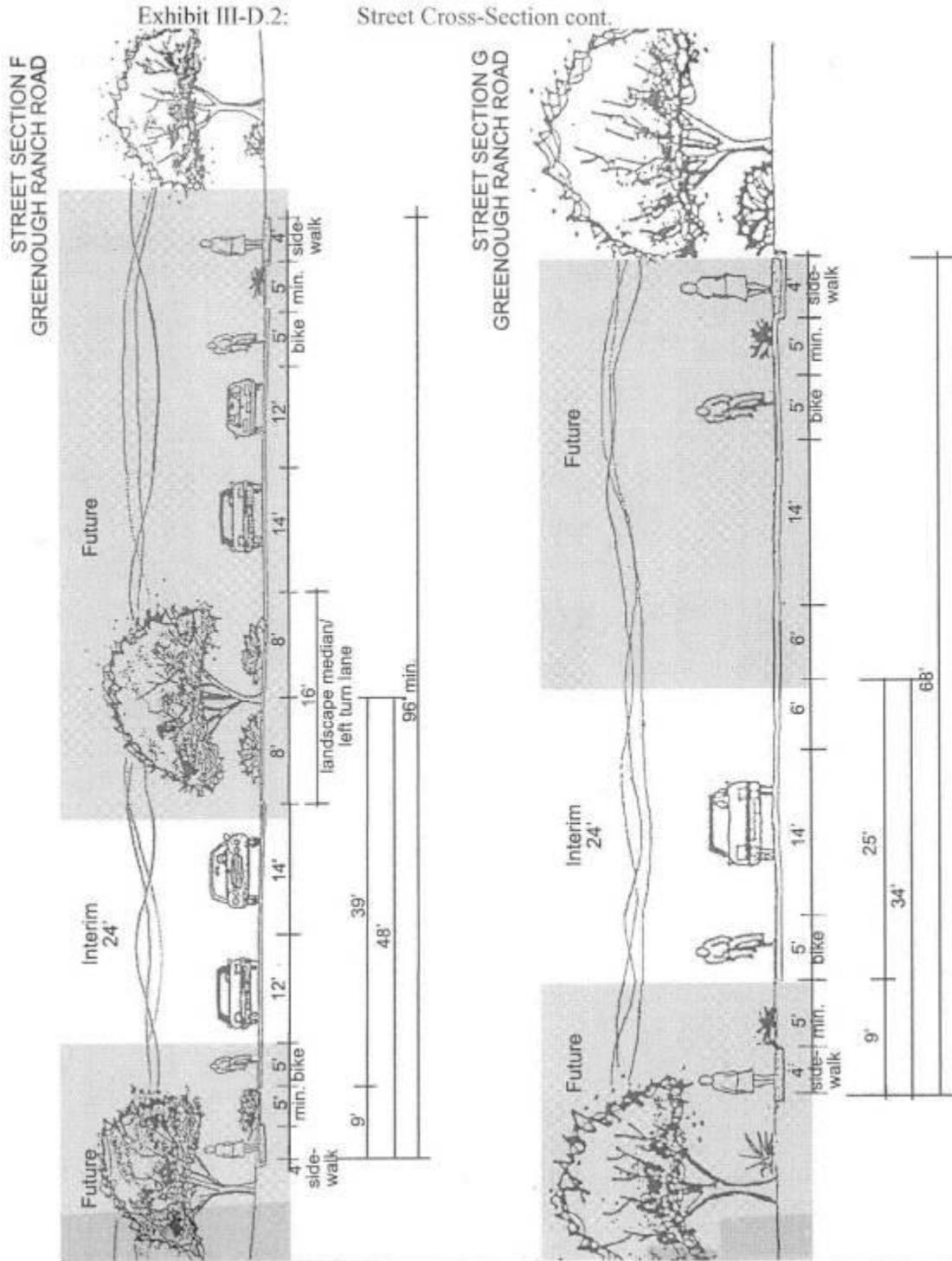


Street Section D
Residential



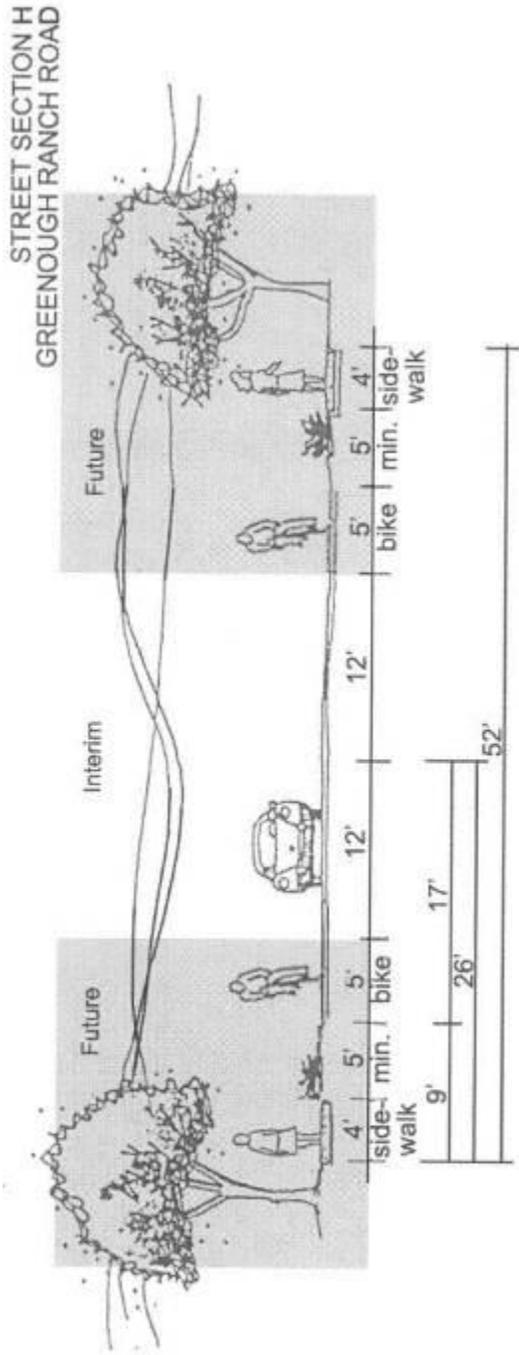
Street Section E
Low Use Residential Street
LESS THAN 140 ADT

Exhibit III-D.2: Street Cross-Section cont.



- NOTES:**
1. SIDEWALKS ON BOTH SIDES CAN BE EITHER CONCRETE, ASPHALT OR DECOMPOSED GRANITE AT DEVELOPER'S DISCRETION.
 2. INTERIM 24' PAVEMENT SECTION FROM RANCHO SAHUARITA BLVD. TO PIMA MINE ROAD WILL BE UTILIZED UNTIL MEASURED ADT'S WARRANT ADDITIONAL LANES.
 3. INTERIM 24' FOR SECTIONS F+G WILL CONTAIN TWO 12' LANES AS DEPICTED IN THE INTERIM PORTION OF CROSS SECTION H.

Exhibit III-D.2: Street Cross-Section cont.

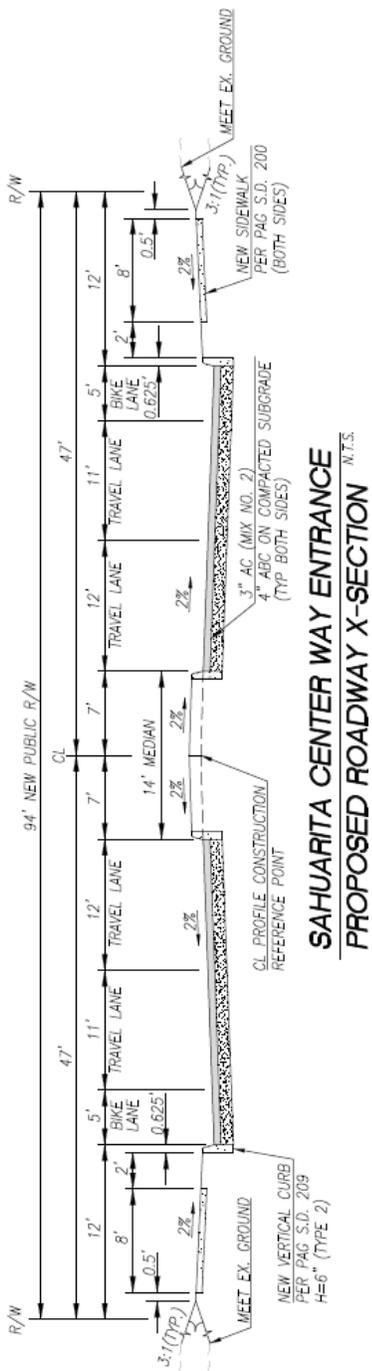


NOTES:
1. SIDEWALKS ON BOTH SIDES CAN BE EITHER CONCRETE, ASPHALT OR DECOMPOSED GRANITE AT DEVELOPER'S DISCRETION.
2. INTERIM 24' PAVEMENT SECTION FROM RANCHO SAHUARITA BLVD. TO PIMA MINE ROAD WILL BE UTILIZED UNTIL MEASURED ADT'S WARRANT ADDITIONAL LANES.

Exhibit III-D.2: Street Cross-Section cont.

STREET SECTIONS I (TOWN CENTER)

STREET SECTION I.1



STREET SECTION I.2

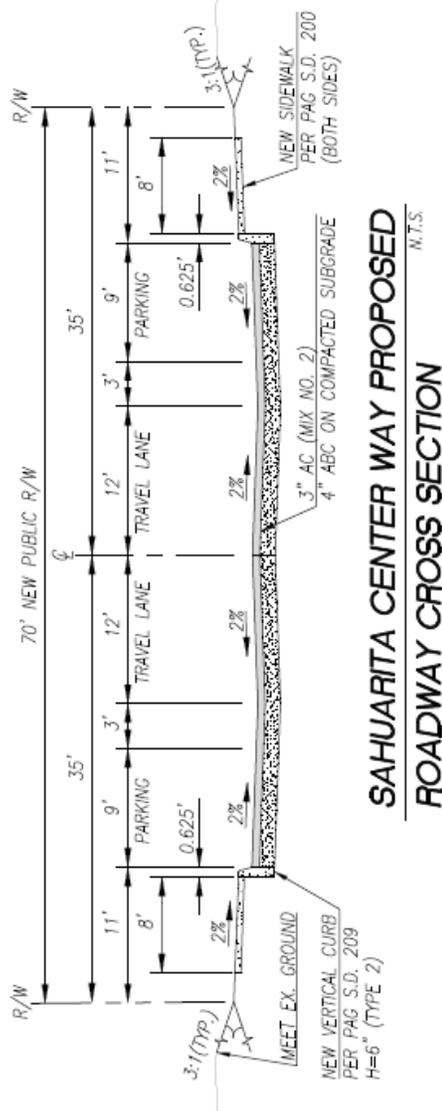
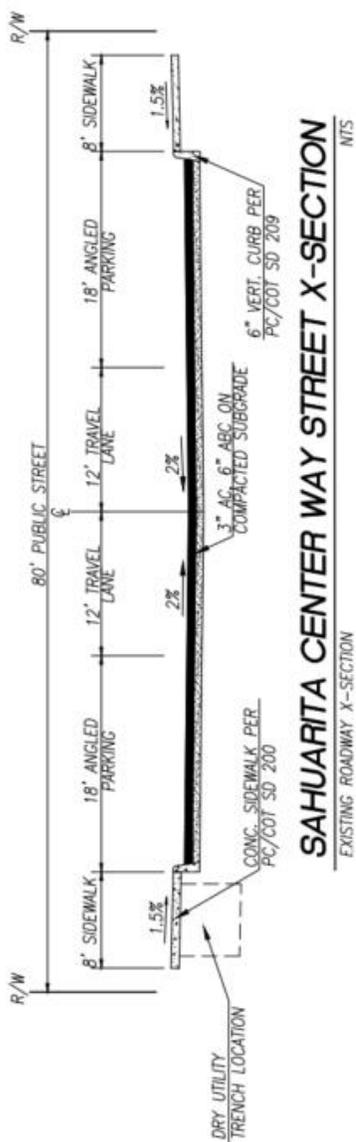


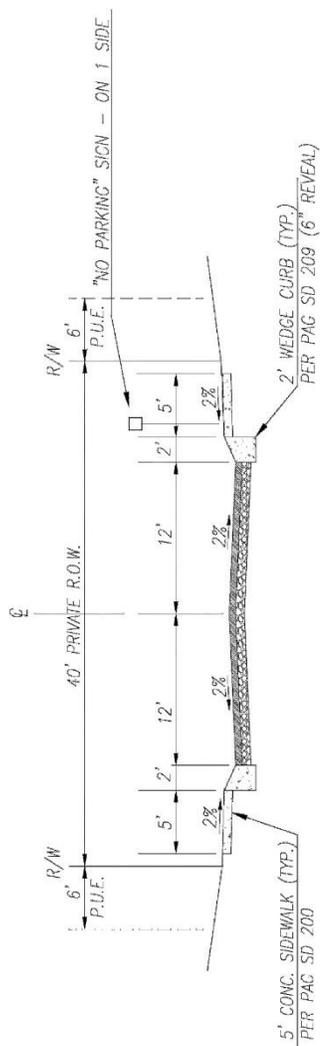
Exhibit III-D.2: Street Cross-Section cont.

STREET SECTION I.3



EXISTING ROADWAY X-SECTION FOR SAHUARITA CENTER WAY BETWEEN STARLIGHT VIEW AND CALLE IMPERIAL

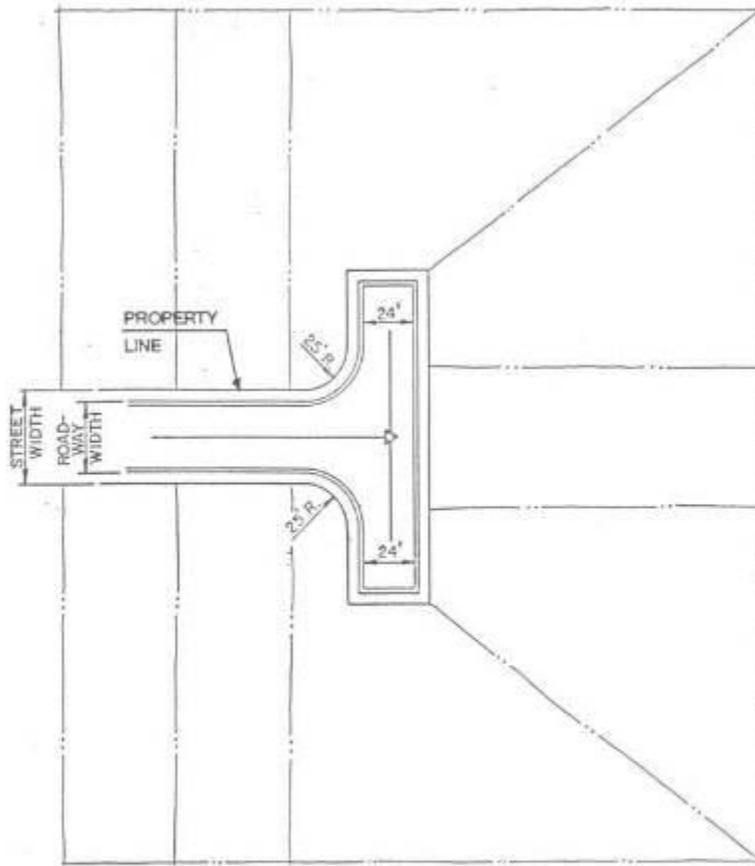
STREET SECTION J



W/ PARKING ON ONE SIDE OF STREET

(Rancho Resort Use Only)

Exhibit III-D.3: Typical "T" Turnaround



TYPICAL "T" TURNAROUND FOR CLUSTERED DEVELOPMENTS

2. **Proposed Potable Water Facilities:** Exhibit III-E.2: Public Utilities Plan - Water, shows the location of the proposed water facilities to be constructed on site.

3. **Sewer Service:** The Rancho Sahuarita project will include installation of significant sewage infrastructure, treatment facilities, and effluent reuse systems. Each phase or portion of the project will include design and installation of its own sewage collection system. Each substituent collection system will then be connected to laterals and mains which will be installed as part of a new treatment facility to serve both Rancho Sahuarita and the Sahuarita Major Sanitary Sewage Service Area (MSSA). The projects initial phase will be developed by a financing district (see item #4, page 58).

An ultimate treatment facility capable of processing the entire Rancho Sahuarita project will be necessary. However, the rate of development, and phasing of build-out has a direct affect on the economic viability and feasibility of various technologies and capacities which can be provided. As such, the town (or Pima County if applicable) and the developer will cooperate on a phased approach of constructing the plant in the most cost effective means possible.

Creation of the Sahuarita MSSA Sewage Treatment Facility will present a unique opportunity for recharge and reuse of effluent close to the source of generation. Potable waters which are created or derived from other sources and used within the Rancho Sahuarita Specific Plan can be reclaimed in the sewage treatment facility.

4. **Community Facilities District (CFD) and Municipal Improvement District (MID):** If deemed economically feasible, the master developer and builders may petition the Town of Sahuarita to form a Community Facilities District or Municipal Improvement District to either acquire existing public facilities or construct new public facilities.

5. **Other Utilities:** Gas, electric, and telephone services exist in the vicinity of the Plan Area. For conceptual layout of these utilities, see Exhibit III-E.4: Public Utilities Plan - Miscellaneous Utilities. Final design shall take place at the time of actual construction, subdividing, and site development. Actual service facility design will be coordinated with the individual utility companies.

- 6. Schools:** Based on the Dwelling Unit Average method for estimating student populations, the ultimate scenario of Rancho Sahuarita at maximum build-out will produce approximately 2,920 elementary (grades pre-K through 5), approximately 1,251 middle (grades 6 through 8) and approximately 1,669 high school (grades 9 through 12) students. Grade level enrollment (GLE) is calculated by multiplying Dwelling Units (DU) by .5, and dividing by the number of grades (14).

$$\frac{DU \times .5}{14} = GLE \qquad \frac{11,680 \times .5}{14} = GLE$$

Based upon requests from the Sahuarita School District, provisions of up to 60 acres for future school site(s) will be provided to the Sahuarita School District as necessary.

As a result of discussions with the Sahuarita School District, school site locations have been identified and are mapped on the Land Use Map. An agreement letter between the Master Developer and Sahuarita School District, outlining the donation of 65 acres for future school sites has been included in Appendix G. School sites shall be dedicated or reserved in accordance with an existing agreement, dated February 29, 1996, with the Sahuarita School District.

7. Parks:

- a. Four district parks averaging 4-5 acres in size will be built as shown on Exhibit III-C.1.
- b. A public neighborhood park of at least 15,000 square feet for every 250 dwelling units shall be constructed. Development of the neighborhood parks shall be complete and acceptable to the Town prior to the issuance of 40% of the building permits in the subdivision within which the recreation area is located and which the recreation area serves.
- c. At the time of platting, the developer may be required to provide "pod plans" which indicate subdivision sites and park sites in accordance with "b" above. The purpose of the pod plan is to document when and where neighborhood parks will be needed and provide for the timing of park development plan preparation and review by the CFD Board. Neighborhood parks may be combined to make larger parks and still meet requirements.
- d. These requirements shall not apply to subdivisions where minimum lot size is 12,000 square feet or greater.

PUBLIC UTILITIES PLAN - WATER

LEGEND

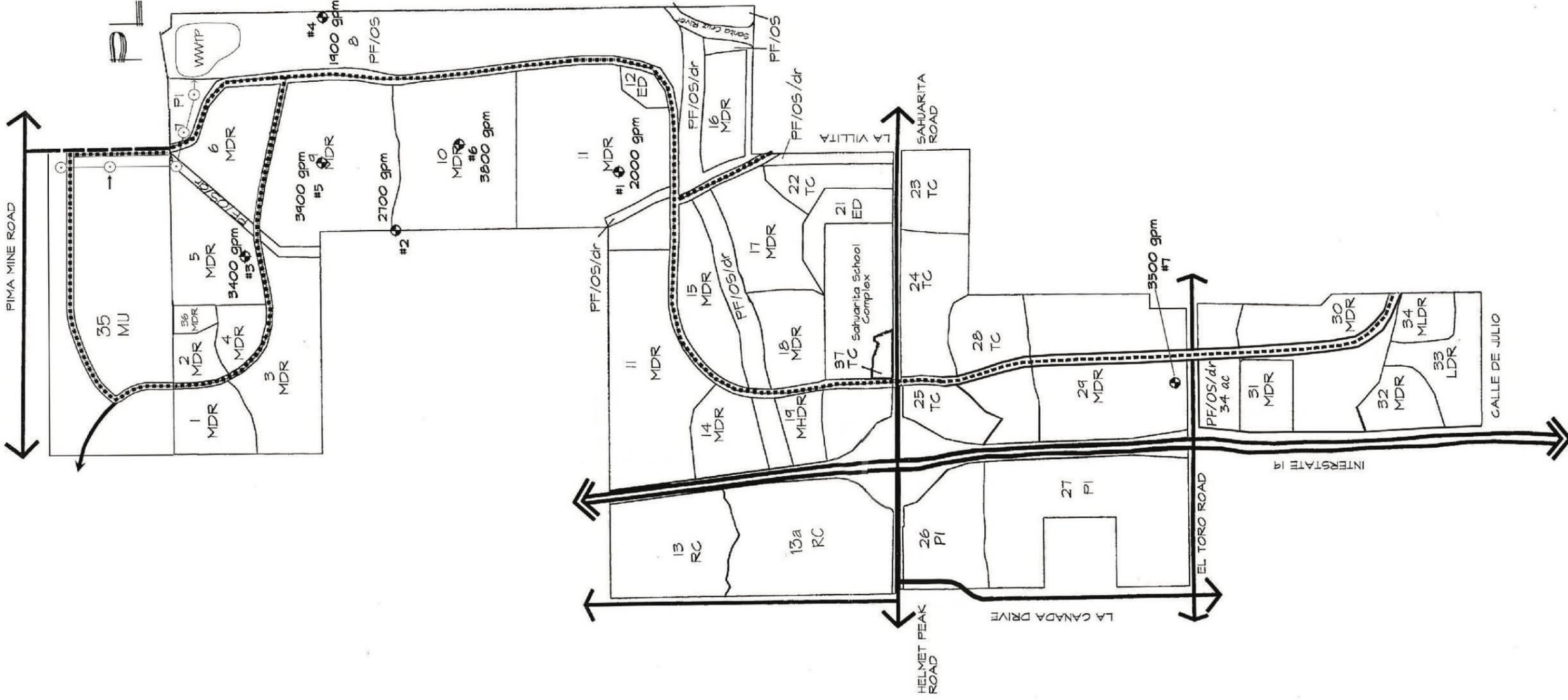
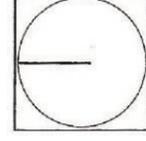


EXHIBIT III-E.2
PUBLIC UTILITIES PLAN
WATER + SEWER



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PUBLIC UTILITIES - MISCELLANEOUS

LEGEND

Gas, Electric and Telephone

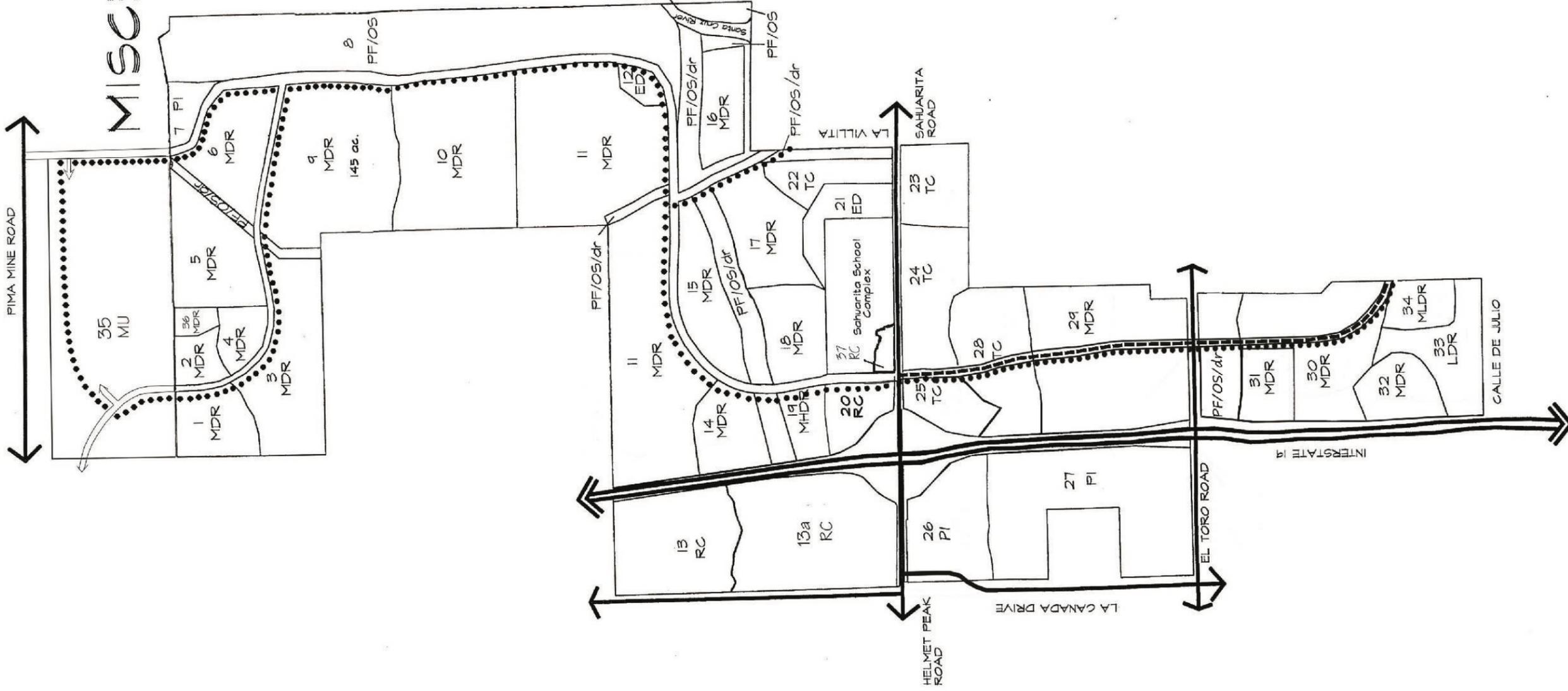
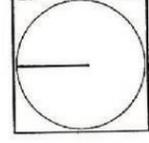


EXHIBIT III-E.4
PUBLIC UTILITIES MAP
MISCELLANEOUS UTILITIES



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F. Water Resources Concept Plan

1. Response to Existing Conditions

The Drainage Concept Plan represents a conceptual approach for addressing the major off-site and on-site stormwater flows which traverse the site. Planning-level analysis indicates that the overall drainage scheme should function in a manner which will provide for the adequate collection, conveyance, and discharge of major flows within and across the Rancho Sahuarita property. The Drainage Concept Plan is comprised of the following drainage-infrastructure elements, which are depicted on the enclosed 2000'-scale water resources concept plan (Exhibit III-F.1).

- a. . Offsite stormwater flows, from Interstate (I-19) culverts, traverse the site from west to east along natural watercourses. The flowline limits of these watercourses are proposed to remain undisturbed, however, Disturbance/Channel Slope Protection is proposed along/within the floodprone limits of the washes to provide adequate conveyance capacity and to mitigate lateral erosion. Local flows and other nuisance flows discharged from Interstate (I-19) culverts south of Sahuarita Road will be collected and conveyed within Section A-A' improvements to the afore-mentioned watercourses.
- b. An Undisturbed, Natural 100-Year Floodplain Area is proposed for one specific location within the Rancho Sahuarita property. It is proposed that this land be utilized as Natural Open Space.
- c. A Stabilized Collection/Conveyance/Dispersion System will be used to collect off-site runoff and convey the accumulated flow westerly to the I-19 culverts in a stabilized channel. The collected flow will be dispersed along the west edge of I-19, and will utilized the four or five existing culverts which are already located there to convey the 100-year flows under I-19.
- d. Local flows and other nuisance flows discharged from Interstate (I-19) culverts north of Sahuarita Road will be collected and conveyed within Section E-E improvements to the afore-mentioned watercourses or the Channel Drainage Corridor.
- e. A Channel Drainage Corridor has been formulated as a means to convey runoff from I-19 easterly, across the site, to the Santa Cruz River. Low flows will be conveyed within the existing, channel. Larger discharges that exceed the capacity of the existing channel will be contained within a to be conveyed safely downstream.

- f. Stabilized Collector Channels for On-Site Runoff from development areas north of Sahuarita Road will collect on-site runoff and convey the runoff to the Channel Drainage Corridor for conveyance to the Santa Cruz River. Stabilized Collector Channels for On-Site Runoff from development areas south of Sahuarita Road will collect on-site runoff and convey the runoff to multiple onsite Detention/Retention Facilities within the development layout, and the attenuated flow will be discharged into the afore-mention natural watercourses.

- g. An Off-Site Easement for Stabilized Diversion Levee, 50 feet in width, will be acquired along the same alignment which contains an existing diversion levee. A reinforced levee will be constructed to replace the existing levee, and this replacement levee will direct runoff along a flow path created by the current levee to an existing ditch for conveyance across a portion of the Rancho Sahuarita property.

All of these systems and facilities will be phased in as adjacent or affected development occurs. Since these conceptual systems were prepared at a planning level of analysis, details regarding the specific sizes of the individual elements have not been prepared beyond what is indicated on each typical cross-section. A range of possible widths and depths of these systems has been provided. A preliminary design and phasing scheme, incorporating a detailed assessment of the steps required to fully implement these systems, will be necessary at some future time.

Newly constructed channels may require some form of bank stabilization. To maintain a range of potential options for channel stabilization, rock, soil cement, or concrete are recommended at this time. Constructed drainageways shall include revegetation within or adjacent to the channel. The drainageway design shall provide for landscape buffers along both sides of the channel. Trees will be appropriately spaced in order to provide for sufficient maintenance access.

Detention facilities have been proposed as part of System "a" for the portions of Rancho Sahuarita which are located south of Sahuarita Road. These facilities are intended to address the hydrologic effects of on-site urbanization by maintaining or reducing existing peak flow rates which discharge onto downstream properties. Detention facilities are not required for areas located immediately north of Sahuarita Road (i.e., Systems "c, d, e & f"), since these areas discharge directly into the Santa Cruz River without crossing through offsite properties.

- 2. **Effect Upon Site Drainage Patterns:** The Development Plan anticipates overall improvement in the efficiency of drainage patterns of the site.

Creation of detention basins and re-alignment of on-site washes will alleviate substantial and long-standing flooding problems for the site.

A drainage report for the specific plan area must be approved by the Town Engineer prior to the issuance of grading permits or any other permits for development activity within the specific plan area. Additionally, Pima County Flood Control shall approve any modifications to the Santa Cruz River and its 100-year floodplain.

Pima County Flood Control Policies

The Town of Sahuarita currently adheres to the flood control policies established by Pima County. With respect to residential development, flood control policies include the establishment of finished floor elevations at no less than one foot above adjacent water surface elevations.

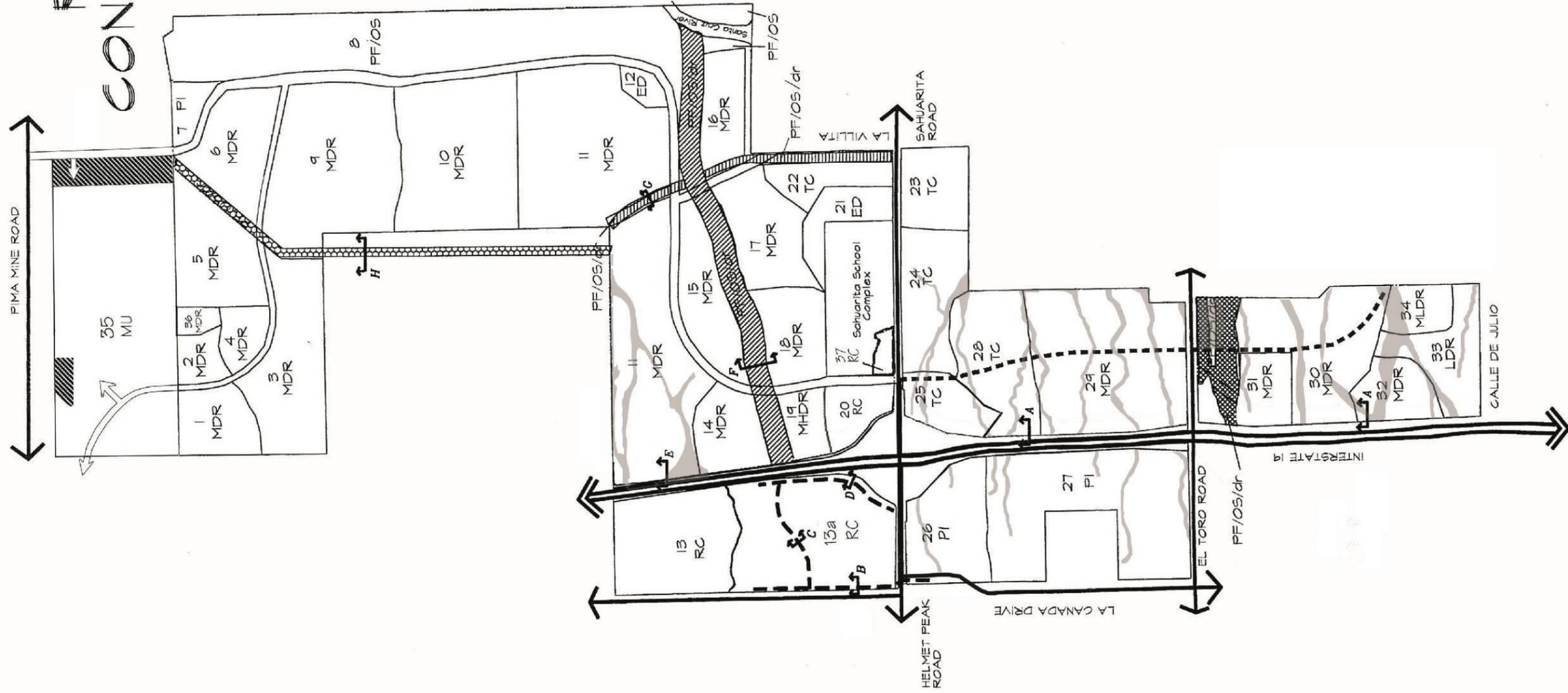
Santa Cruz River Master Drainage Study

The Santa Cruz River has been included in the Pima County Flood Insurance Study, which includes a designation of the Special Flood Hazard Area designated on the Flood Insurance Rate Map, Panel 040073 3405 B, effective February 15, 1983. The regulatory 100-year peak flow of the Santa Cruz River nearest the project site occurs at Continental Road in Green Valley, Arizona, which indicates a flow rate of 30,000 cfs.

As of March, 1995, the Pima County Flood Control District has indefinitely put on hold any new and/or ongoing study of the basin management plan applicable to the Santa Cruz River in the project area. This issue is therefore not applicable at this time.

3. **Updating of Master Drainage Report:** Approval of any subdivision plat in areas south of Sahuarita Road will require acceptance by the Town Engineer of a comprehensive update of the Rancho Sahuarita Master Drainage Report as originally completed in 1995.

WATER RESOURCES CONCEPT PLAN



LEGEND

-  Collector Channel/Landscape Buffer
-  Undisturbed, Natural 100-Year Floodplain Area
-  Stabilized Collection/Conveyance/Dispersion System
-  Channel/Drainage Corridor
-  Stabilized Collector Channels for Onsite Runoff
-  Offsite Easement for Stabilized Diversion Levee
-  Typical Cross Section
-  Total Open Space / Drainage Area per Current 2013 Tentative plat

EXHIBIT III-F.1
WATER RESOURCES
CONCEPT PLAN



RANCHO SAHUARITA

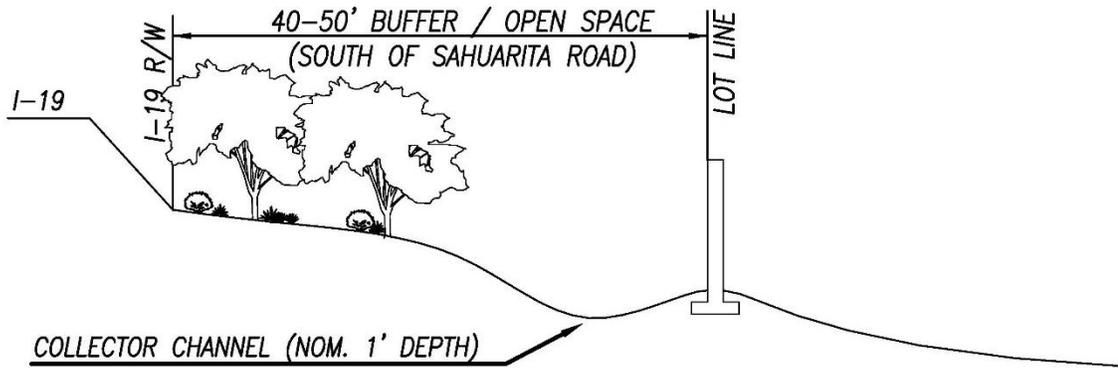
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SCALE

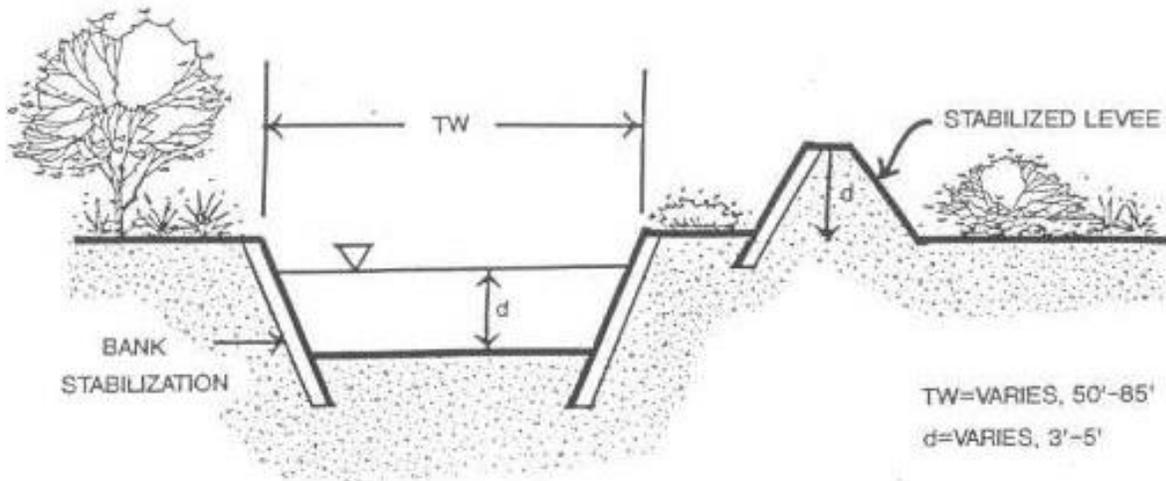


Rev. 11/02; 10/03; 4/06; 4/09, 7/14; 1/16; 7/18

Exhibit III-F.2: Typical Channel Cross-Sections

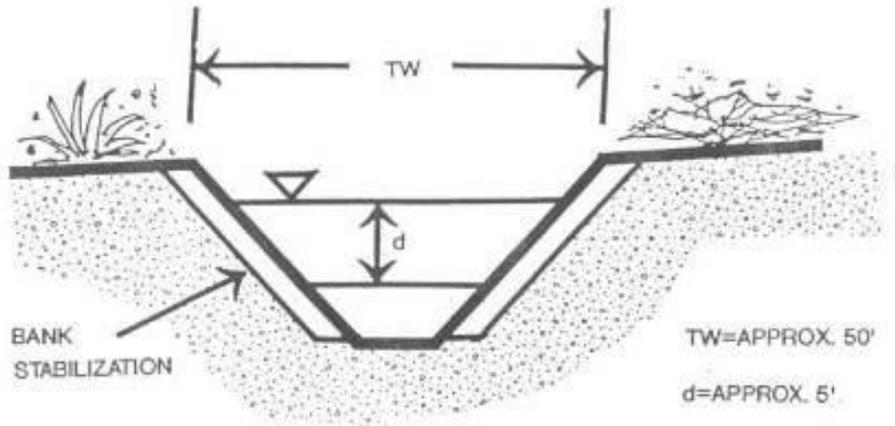


SECTION A-A' OPEN SPACE/DRAINAGE/LANDSCAPE BUFFER

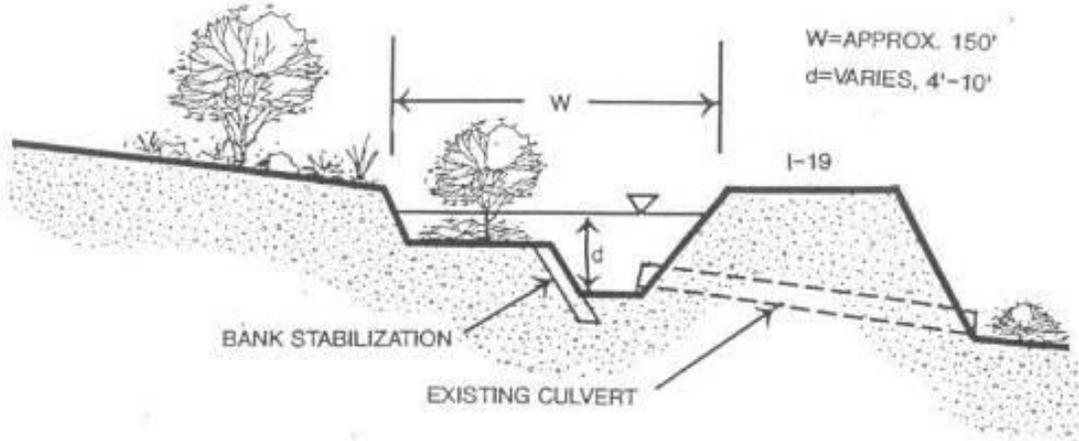


SECTION B-B'
STABILIZED COLLECTOR CHANNEL FOR OFFSITE RUNOFF

Exhibit III-F.2: Typical Channel Cross-Sections cont.

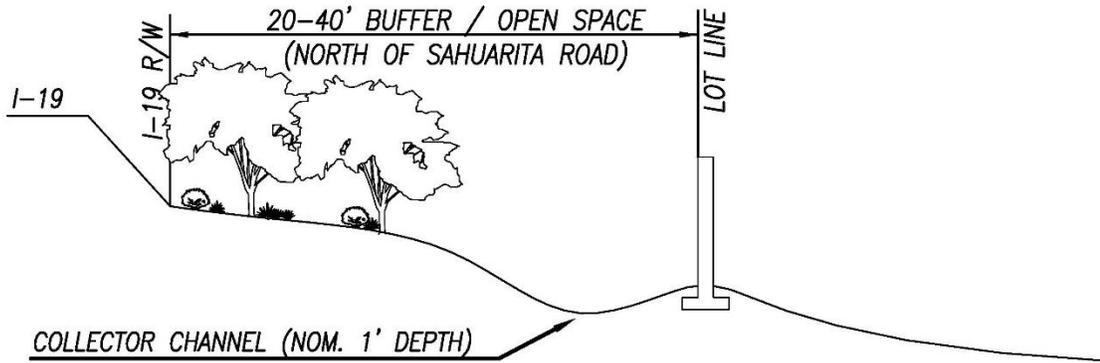


SECTION C-C' STABILIZED 100-YEAR CHANNEL

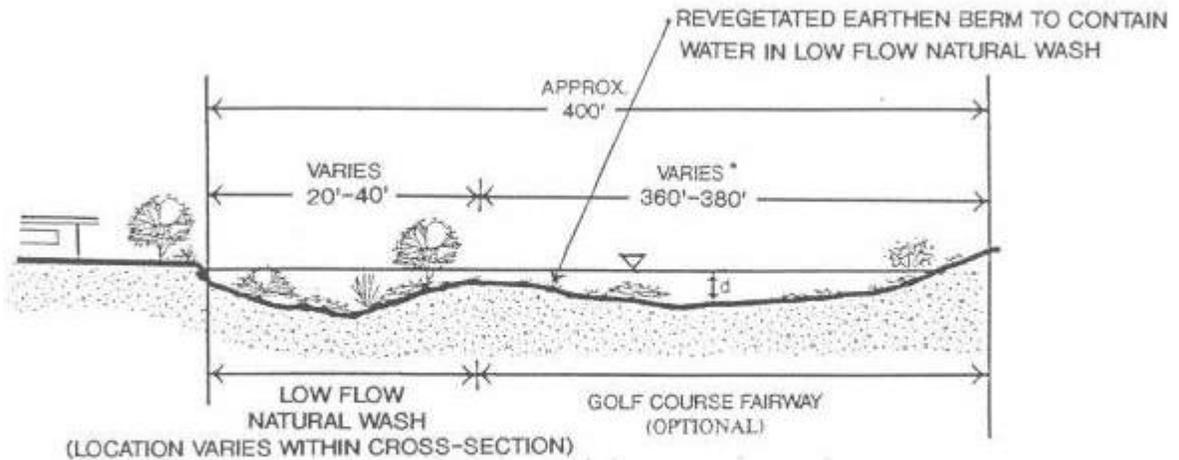


SECTION D-D'
STABILIZED DISPERSION CHANNEL/LANDSCAPE BUFFER
FOR I-19 CULVERTS

Exhibit III-F.2: Typical Channel Cross-Sections cont.



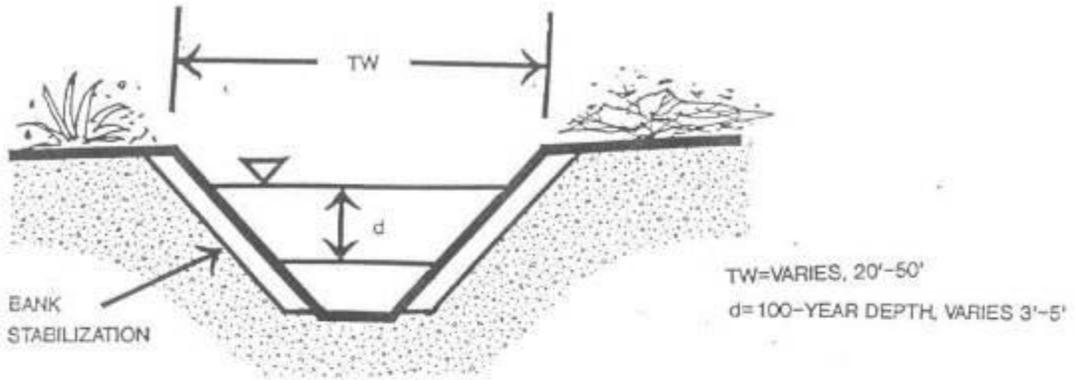
SECTION E-E' OPEN SPACE/DRAINAGE/LANDSCAPE BUFFER



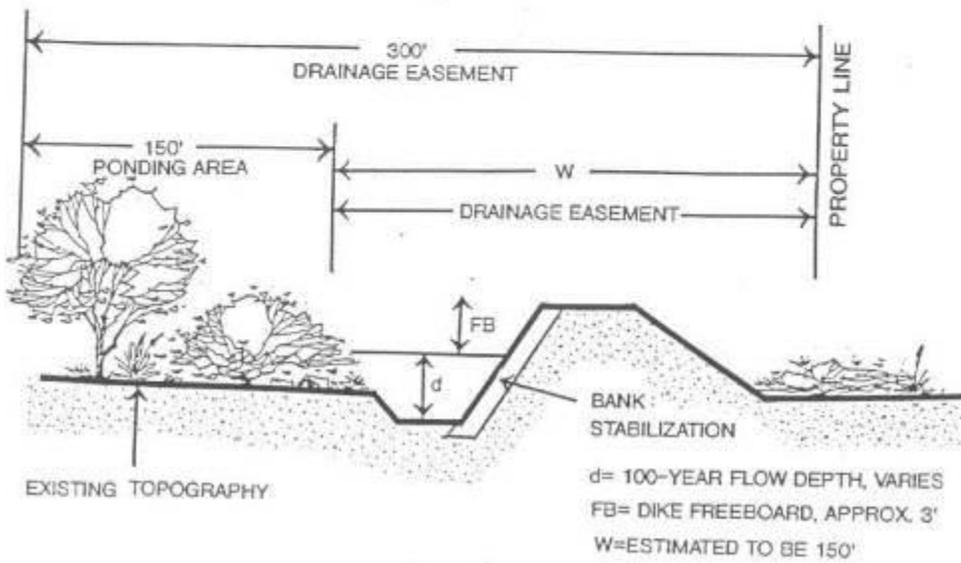
d=100-YEAR FLOOD DEPTHS, VARIES
 * FAIRWAY WIDTHS MAY BE REDUCED TO 250' EACH FOR DOUBLE-WIDE FAIRWAYS

SECTION F-F'
 CHANNEL/GOLF COURSE DRAINAGE CORRIDOR

Exhibit III-F.2: Typical Channel Cross-Sections cont.



SECTION G-G' STABILIZED COLLECTOR CHANNEL FOR ONSITE RUNOFF



SECTION H-H' STABILIZED OFFSITE DIVERSION LEVEE

G. Grading Concept

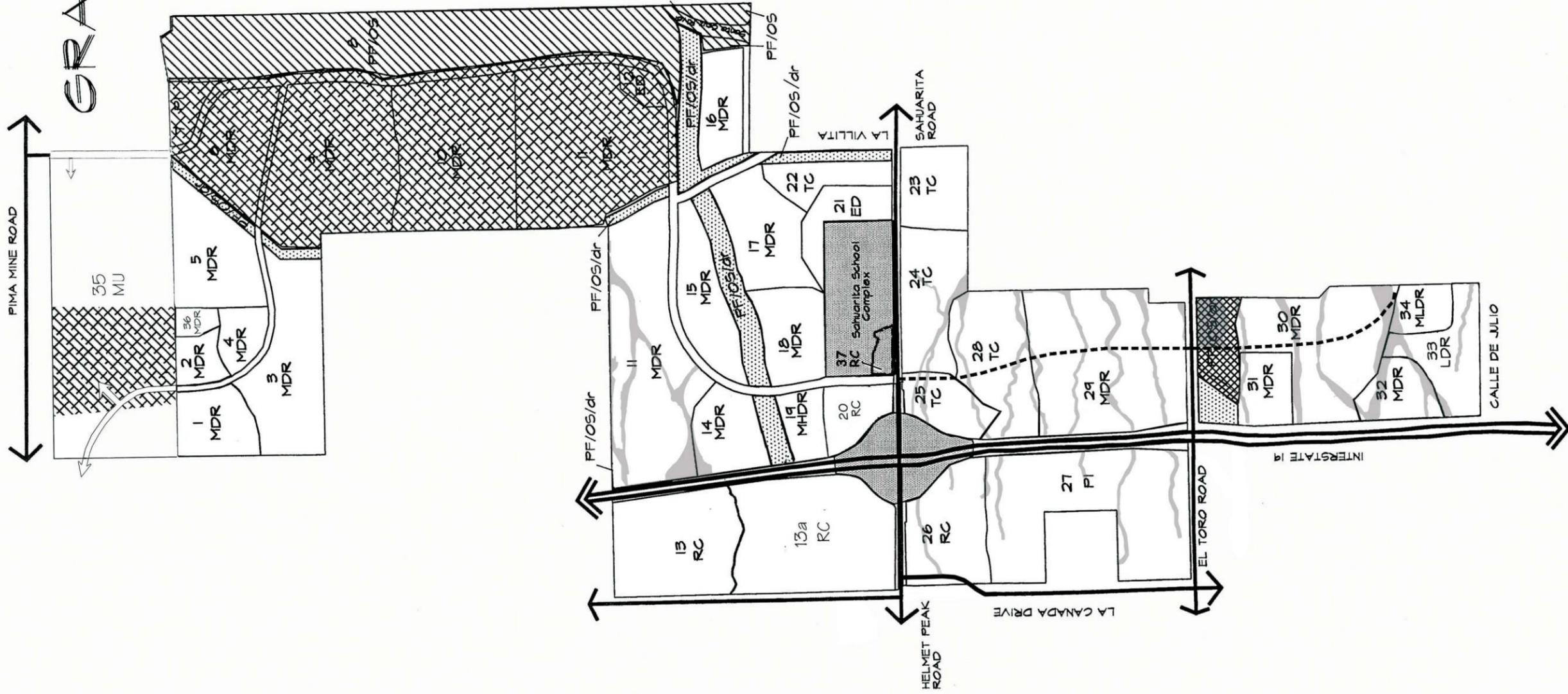
1. **General Characteristics.** The Conceptual Grading Plan, Exhibit III-G.1, depicts the primary grading characteristics of the developed site. The site will include a variety of grading treatments which will be utilized in developing roadways, residential lots, and the recreational facilities.

The majority of the drainageways will be channelized and mitigated by re-vegetating the edges with nursery stock or salvage plants, or hydroseeding. The overall disposition of the post-graded site includes:

Graded Areas:

- Planning Areas
 - Building Sites (clubhouse, etc.)
 - Local Collector and Spine Roads
 - Re-aligned Drainage Channel
 - Portions of Transition Areas (i.e., areas between Development Blocks, Recreation Facilities, Trails and Washes)
 - Detention Basin Facility
 - Proposed Golf Course (as necessary for turfed or bermed areas).
 - Other areas as needed for infrastructure and utilities.
2. **Cut and Fill.** Grading shall be in accordance with the Town of Sahuarita Grading Standards as outlined in the Zoning Code. To help mitigate cut and fill situations, a hydroseed revegetation treatment will be employed where erosion is likely, at each cut/fill location to help in smoothly transitioning to the wash channel and/or golf course, as the specific case may be.

GRADING PLAN

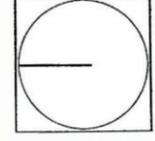


LEGEND

- Terrain modification for drainage with revegetation
- Existing disturbed vegetation to be used for park/effluent reuse/open space
- Undisturbed natural vegetation
- Graded and landscaped for development
- Existing disturbed vegetation to be developed and landscaped
- Not included in project area
- Total Open Space / Drainage Area per Current 2013 Tentative Plat

Rev. 11/02; 10/03; 4/06; 4/09,
7/14; 1/16; 7/18; 1/22

EXHIBIT III.G.1
GRADING PLAN



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H. Environmental Resources Concept Plan:

The Rancho Sahuarita Specific Plan does not fall within any officially adopted resource or environmentally sensitive zone as currently identified by Pima County.

1. **Habitat Resources:** The most significant habitat resources in terms of wildlife habitat values are concentrated in identified riparian areas, other identified drainageways, and areas of medium to high density vegetative cover. (See Exhibit III-H.1: Environmental Resources Concept Plan). The majority of the area vegetation is desert scrub, predominately low in density with low value to wildlife. Limited riparian areas are located within drainageways.

The following discussion describes how damage to those areas of relative environmental significance will be mitigated, preserved or enhanced during the site planning process.

- a. Areas of high density vegetation: A portion of Pod 33 will be set aside to preserve existing high density vegetation.
- b. The northern Palo Verde-Saguaro Upland area: Pod 33 will be developed to preserve the more significant areas of natural vegetation as well as to provide a transition to the lower density Valle Verde del Norte neighborhood to the south. This is accomplished through use of larger lots, limitations on the number of homes in the southernmost row of lots to a maximum of either 20 one- and two-story homes or 28 single story homes and setting aside a 120' natural buffer along the south end of Pod 33. The highest vegetative densities are found in the southeastern corner of the site and in the wash that runs from the southwest to northeast through the north side of Pod 33. Both these areas will be preserved as natural open space except for necessary road and utility crossings. The southern 130' of Pod 33 will be designated as open space with a 10' transitional area directly behind the lots and the balance of the area to remain natural open space common area. The preservation of a 120' natural buffer yard along the southern end of Pod 33 will minimize impacts associated with development of the property and provide a significant buffer from the existing lower density homes to the south. In addition, the provisions outlined in Section IV.E.11.a. provide for: Saguaros shall be preserved in place where practical as a first option. As a second option, all healthy, moveable specimens shall be relocated to other approved locations within the development pod they originally occupied. Every effort shall be made to preserve existing saguaros. Unhealthy or non-salvageable specimens that are destroyed as a

result of development of the property shall be replaced on a one-to-one basis within the development pod where the original specimen was located. Saguaro survival shall be monitored, and any saguaros which die within five years from the date of transplantation or placement shall be replaced by a minimum three- to five-foot high saguaro specimen.

- c. Special Status Species: A conservation program and mitigation plan will be developed for Special Status Species, as documented by the Arizona Game and Fish Department (AGFD) if these species are found on-site. The mitigation plan will be prepared by a qualified environmental biologist. The plan will include an on-the-ground survey and a program for the protection and maintenance of the species and reasonable maintenance of the habitat of the species prior to, during and after construction activities. The mitigation plan will be reviewed by the AGFD, prior to implementation. This plan will be completed prior to any ground disturbing activities in the immediate area of the species.
- d. Natural Washes: Preserved washes shall be those found in the Specific Plan on Exhibit III-H.2, page 80. The total width of the preserved area including the wash will not be required by the Town to exceed 60 feet.

- 2. **Open Space Resources.** The Rancho Sahuarita Specific Plan is designed as a recreational and employment based residential community. Open space is an important opportunity from an environmental perspective as well as an amenity in terms of quality of life. This plan has identified and preserved areas of open space and has attempted to utilize a "multiple use" of open space.

Revegetated drainageways will help maintain wildlife connections. The recreational/open space land use in conjunction with the washes will provide a larger area for animal forage and cover. In addition, this treatment helps preserve existing floodplain areas by providing increased setback areas from structural developments.

Constructed drainageways shall include revegetation within or adjacent to the channel. The drainageway design shall provide for landscape buffers along both sides of the channel. Trees will be appropriately spaced in order to provide for sufficient maintenance access.

- 3. **Archaeological Resources.** See Archaeological Regulations, Section IV-H.

ENVIRONMENTAL RESOURCE MAP

LEGEND

-  Vegetation Resource Areas
- Areas of high veg. density
-  Open Space Resource
-  Total Open Space / Drainage Area per Current 2013 Tentative Plat

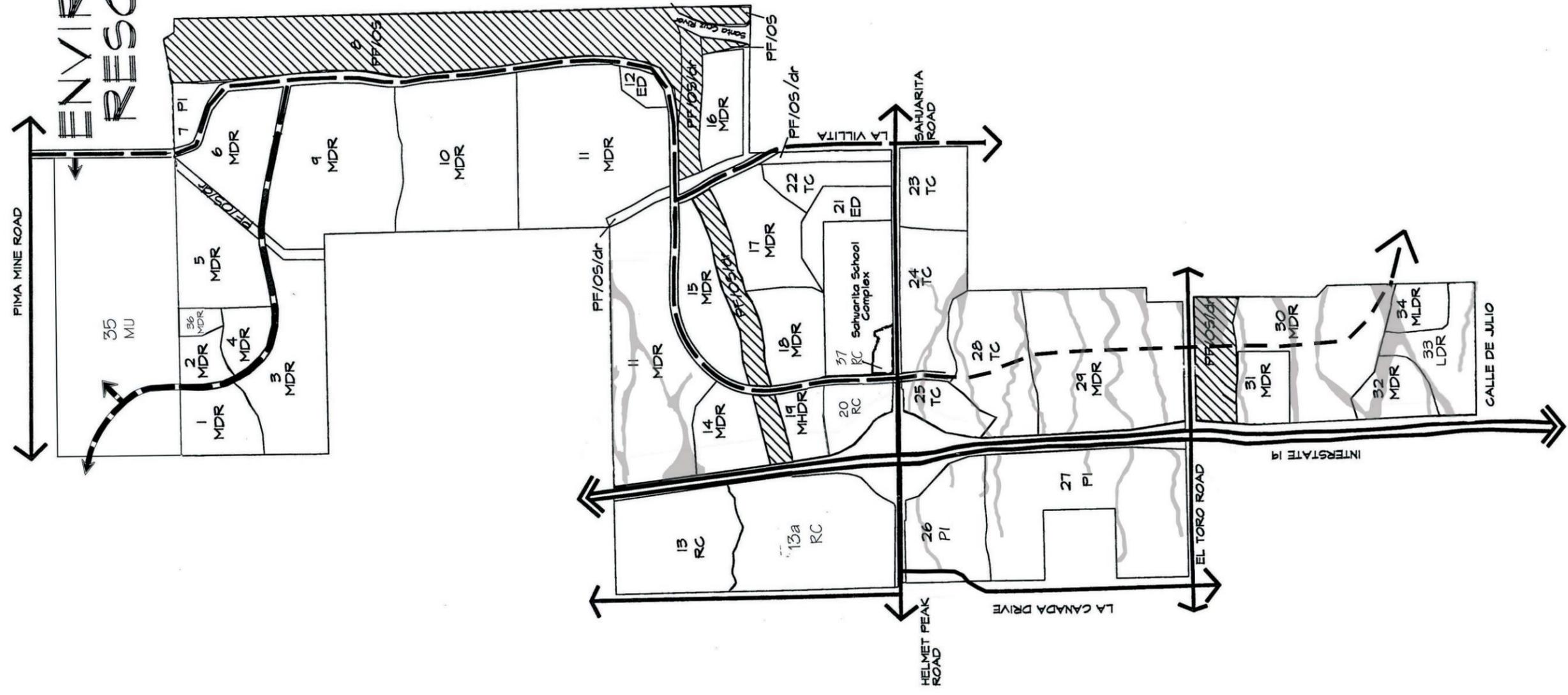
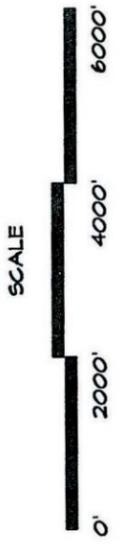


EXHIBIT III-H.I
ENVIRONMENTAL
RESOURCES MAP



RANCHO SAHUARITA
S A H U A R I T A , A R I Z O N A

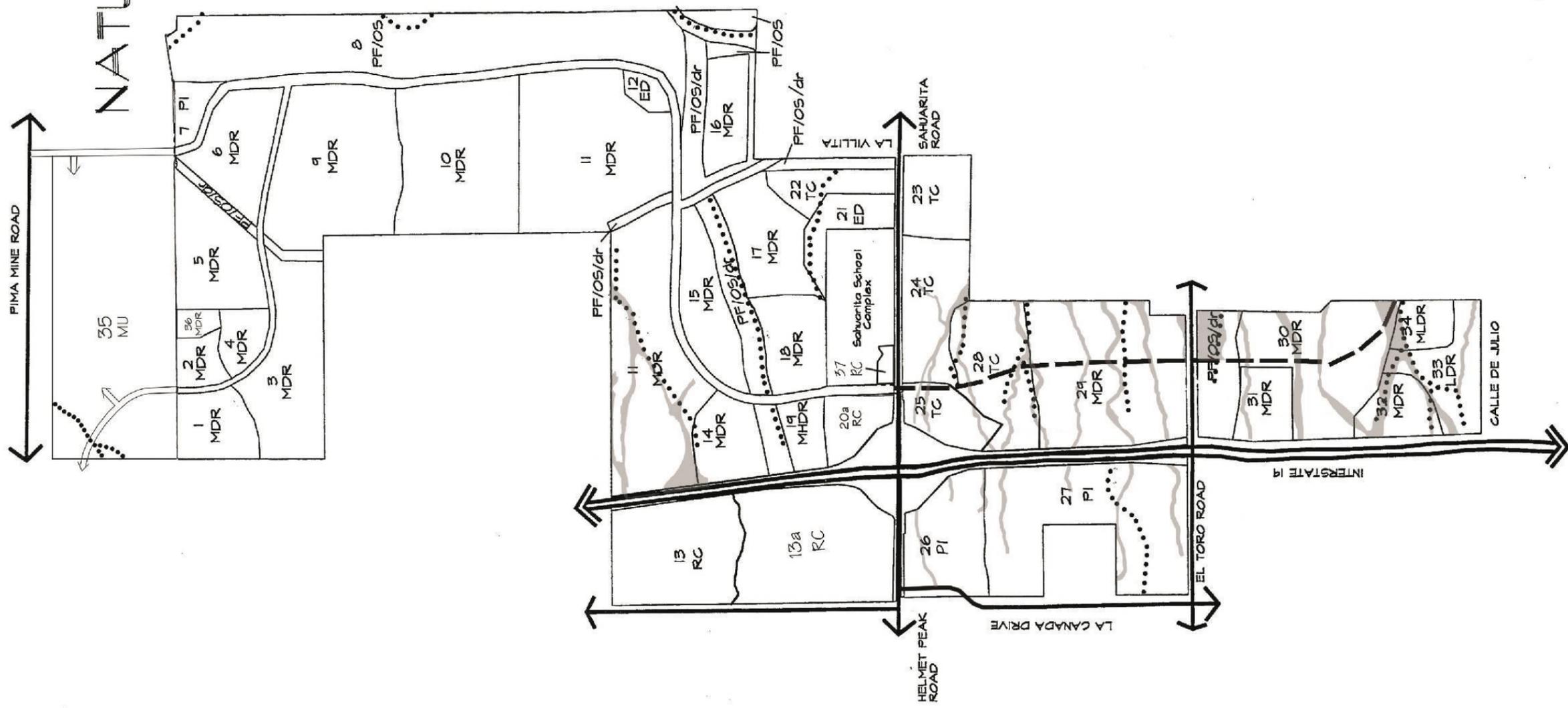


Rev. 11/02; 10/03; 4/06;
4/09, 7/14; 1/16; 7/18; 1/22

PRESERVED NATURAL WASHES

LEGEND

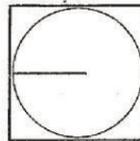
- NATURAL WASHES/
CLASS II HABITAT
TO BE PRESERVED 
- Total Open Space /
Drainage Area per
Current 2013
Tentative Plat 



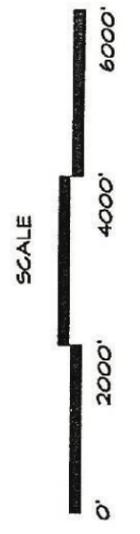
RANCHO SAHUARITA

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EXHIBIT III-H.2
PRESERVED
NATURAL WASHES



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4/09, 7/14; 1/16; 7/18

I. Landscape Concept:

Rancho Sahuarita is planned as a Desert Community with a landscape concept selecting plant materials from the Sonoran Desert ambiance. A landscape planting theme will be established creating a community framework for all common and public areas. Consistent landscape planting will be encouraged to use native southwestern plants and other drought tolerant species. This landscape structure will link the various development areas together in a cohesive community. The landscape concept is depicted on Exhibit III-I.1.

- 1. Entry Features.** The Landscape Plan identifies three types of entry features: the primary or community entry, the secondary or collector entry, and the tertiary or residential entry. Entry features, like doorways, delineate passage into or out of the community. The Rancho Sahuarita entry points shall include signage and accent landscaping to communicate the theme and identity of the community. The primary feature will be designed to incorporate project monumentation and signify the arrival to the project. The secondary entry statements will be similar to the primary features, but smaller in scale and amount of detail. The residential entry statements will be smaller in scale than either the primary entry statement or the secondary statement and communicate the name and entrance into a residential area.

The primary entry features are located on both sides of Sahuarita Road at the major entry points to the town center. With the annexation of Pod 35 into the Rancho Sahuarita Specific Plan, three additional primary entry features are proposed along Pima Mine Road. This is the "front door" of the community. The secondary entry features will be located at all other intersections with Sahuarita Road. Residential entry statements delineate entrances into individual residential areas. The majority of the residential entry statements are along the project collector or residential road.

2. Streetscape Concept

The three levels of streetscape identified - Primary, Collector, and Residential - correspond to the entry feature landscape. The design for all three levels of streetscape will be consistent with Rancho Sahuarita's Sonoran Desert theme. The Primary Streetscape will provide a safe and attractive progression along the core road. The scale will vary from a larger scale at the primary streetscape, to a smaller scale at the residential street level. A bufferyard will be located along portions of the perimeter of the Specific Plan area consistent with the Town of Sahuarita Zoning Ordinance, Chapter 18.73.040, Screening and Bufferyard Requirements. This landscaped bufferyard takes into consideration existing residential developments surrounding the Rancho Sahuarita Specific Plan area, adjacent streets and the Sahuarita School District Complex. Consistent

within the overall project, areas of revegetation will include drought tolerant and indigenous plant materials.

Retention/detention areas will be hydroseeded or landscaped per Master Developer standards with plant materials able to withstand inundation. The Rancho Sahuarita plant palette includes plant species identified on-site and listed in the Recommended Plant Palette List.

All plants materials for Rancho Sahuarita are to be selected from on-site vegetation or nursery stock selected from the Recommended Plant Palette List (See Appendix J). Plant materials for each of the landscape zones shall be selected from the plant palette identified in Appendix J. In addition, prohibited plants for Rancho Sahuarita Specific Plan are also identified in Appendix J.

J. Recreation and Trails Concept:

The Rancho Sahuarita Specific Plan is a recreation based community. The major recreational elements for Rancho Sahuarita will be financed by the Master Developer, builder, or District. Elements include: open space adjacent to the Santa Cruz River; and the pedestrian/bike path system associated with the entry drive and the local collector. (See Exhibit III-J.1: Recreation Map). Trails will be non-lighted, meandering paths, made of compacted earth or decomposed granite. Other programmed recreation facilities such as district or public parks will be included. Equestrian trails and mini parks are also part of the overall community plan.

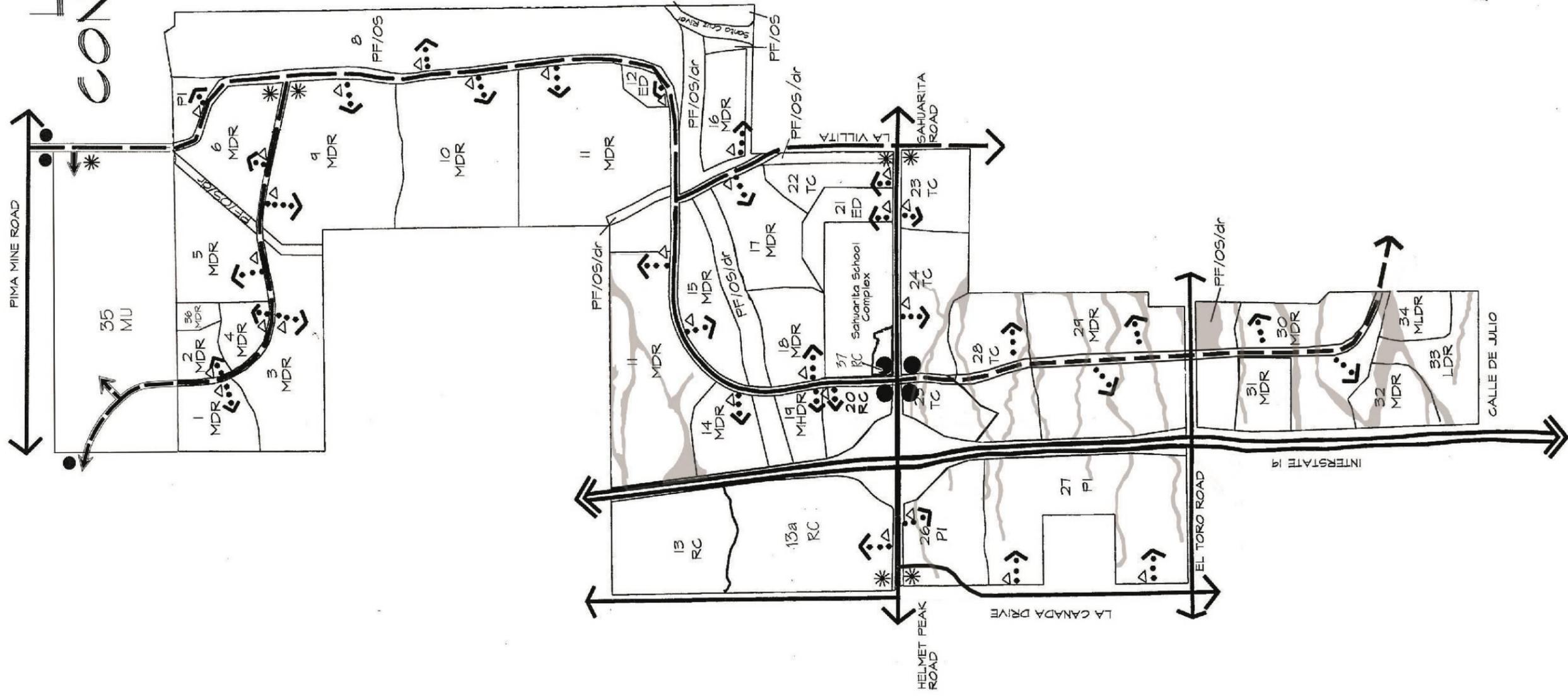
K. Air Quality (Vehicular Traffic) :

Air quality may be positively impacted as a result of paving on and off-site roadways and driveways resulting in the reduction of particulate pollution.

L. Freeway and Noise Mitigation:

An open space buffer will be put in place on the east side of Interstate 19; any residential development on the west side of the freeway (I-19) would be buffered by proposed commercial and park industrial development, neither of which would be negatively impacted by freeway noise.

LANDSCAPE CONCEPT PLAN



LEGEND

-  Primary Entry Feature
-  Secondary Entry Feature
-  Residential Entry Feature
(locations are schematic)
-  Primary Streetscape
-  Collector Streetscape
-  Residential Streetscape
-  Total Open Space / Drainage Area per Current 2013 Tentative Plat

EXHIBIT III-1.1
LANDSCAPE CONCEPT PLAN



Revised 2/2003

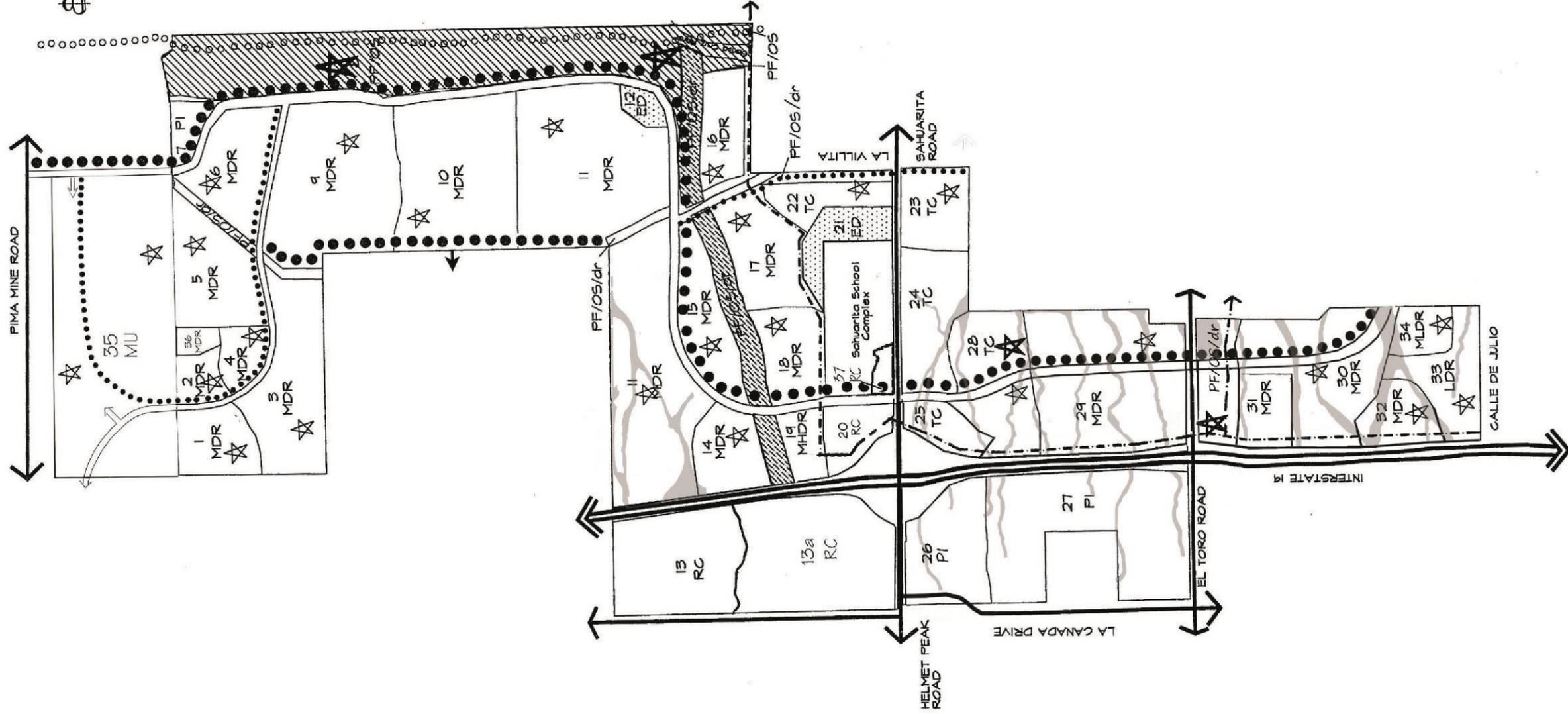
SCALE



RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

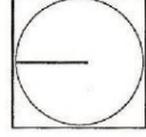
RECREATION & TRAILS MAP



LEGEND

- Pedestrian & Bike Path System
- 4' Pedestrian Path System
- Equestrian Trail System
- de Anza Trail System
- Park/Effluent Reuse/Open Space
- Drainage
- School Recreation Facilities
- Park - Approx. 4-5 acres (location, type of facilities and equipment to be determined by needs assessment at time of development)
- Neighborhood Mini-Parks (number and location to be determined at time of platting)
- Total Open Space / Drainage Area per Current 2013 Tentative Plat

EXHIBIT III-J-I
RECREATION
& TRAILS MAP



THE
PLANNING
CENTER
110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 623-6146

SCALE



RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

Rev. 11/02; 10/03; 4/06;
4/09, 7/14; 1/16; 7/18; 9/20

IV. DEVELOPMENT REGULATIONS:

A. Purpose and Intent:

These regulations will serve as the primary mechanism for implementation of the land uses for the Rancho Sahuarita Specific Plan area after adoption by the Town of Sahuarita. The regulations contained herein provide an appropriate amount of flexibility to anticipate future needs and to achieve compatibility between land uses. This Specific Plan will abide by applicable Town of Sahuarita Regulations currently adopted that are not included or specifically addressed within this document or the recorded Development Agreement. Primary land use designations for the Specific Plan shall be as follows:

- Residential (LDR, MLDR, MDR, MHDR)
- Town Center (TC)
- Neighborhood Center (NC)
- Regional Commercial Center (RC)
- Mixed Use (MU)
- Park Industrial (PI)
- Public Facilities (PF)
- Park/Open Space (POS)

B. Definitions:

The terms and definitions used in this Plan shall mean those defined in Chapter 18.03 of the Town of Sahuarita Zoning Code, with the following exceptions:

1. Active Open Space: Grassed play area, such as a mini park, gardens, or desert landscaped par course incorporating a trail system.
2. Builder: The builder is the purchaser of a development area, or portions of a development area, who will either build or provide for buildings within their areas of leasehold interest or ownership.
3. Building Coverage (Lot Coverage): Building coverage includes all buildings; excludes driveways, service walks, porches, balconies, trellises.
4. Building Height: The vertical distance between the level of the average finished grade measured 5' out from foundation and the highest point of the parapet of a flat roof; or the mean average point between the eaves and ridge of the highest gable, hip, gambrel or other such roof element - provided, that the ridge line of the roof shall not exceed four feet above the maximum permitted building height within the development pod.

5. Building Story: The portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above.
6. Commercial: Any land designated for the establishment of structures in which to provide commerce or business modeled after the Town of Sahuarita's CB-1, or CB-2 designation.
7. Commercial Recreation: Any land designated for the establishment of structures or areas in which to provide recreational activities such as health club/spa, country club, golf course, club house, pool(s), restaurant, lounge permitting liquor sales, kiosks, plazas, trails, etc.
8. Data Center: A data center is a dedicated physical facility that houses networked computer servers and related infrastructure for the purpose of storing, processing, and transmission of large amounts of data. This infrastructure includes essential components like power distribution systems, environmental controls (cooling and ventilation), and physical security to ensure reliable, continuous operation.
9. Density: The average number of units per gross acre.
10. Desert Trees: Mesquite, Palo Verde, Ironwood, Live Oak, and other trees listed in the Southern Arizona Water Resource Association and Town of Sahuarita Code 18.67.05 section I.6 approved plant lists.
11. Design Review Committee (DRC): A committee consisting of 3 regular members to be formed by the Master Developer. The committee may consist of representatives from the land owners, home builders, homeowners association, and land planner/landscape architect consultants. Duties include the review of all proposals for construction, and to ensure that such proposals meet the intent and development philosophy of the community.
12. District: Community Facilities District (CFD) or Municipal Improvement District (MID), or other financing district.
13. Dwelling Unit Cap. The maximum number of dwelling units permitted within the Specific Plan.
14. Floor Area: Floor area includes the sum of the enclosed horizontal areas of each floor of a building measured from the exterior faces of the exterior walls, excluding areas used for elevator shafts, stairwells, floor space used for mechanical equipment room, attic space, off-street parking and

loading, ways for ingress and egress from vehicular parking and loading areas.

15. Floor Area Ratio: The floor area ratio is the proportion of building square footage permitted for each square foot of land area of the development site or lot. It is computed by dividing the floor area by the lot area. (For example, a 30,000 square foot building area on a ten thousand square foot lot has a floor area ratio of 3.0).
16. Gross Acres: The total number of acres within a planning area or subdivision, including principal roads.
17. Master Developer: The owner/primary developer or assigns responsible for overall community development, planning and construction of basic infrastructures such as roads, water, sanitary sewer, dry utilities and drainage facilities.
18. Mini Park: A small neighborhood park, approximately 15,000 square feet in size, which will be provided for every 250 homes. Two or more mini parks may be combined to form a larger park to accommodate several subdivisions of less than 250 homes.
19. Multi-Family: A building or portion thereof containing two or more dwelling units.
20. Neighborhood Center: Mixed-use areas designated to provide convenience goods and services within or near suburban residential neighborhoods for day-to-day living needs.
21. Neighborhood Services: Locally oriented services such as grocery stores, day care facilities, etc., that provide pedestrian oriented support commercial services for the immediate neighborhood. The area for those services is limited to one acre per 100 residences and a minimum threshold of 300 units must be met before this provision may be utilized.
22. Office: Any land designated for the establishment of structures in which to provide a service done for another; a place where work or business that is administrative, professional, etc. is carried on.
23. Open Space: Any area, public or private, which is open (i.e. excludes structures) such as washes, buffers, retention/detention areas, recreation areas, etc.
24. Park Industrial: Any land designated for structures in which to provide commerce or business in compliance with Town of Sahuarita's CPI-designation.

25. Park/Open Space: Any area, public or private, which is open (i.e. excludes structures) such as washes, buffers, retention/detention areas, , recreation areas, etc. Uses may include recreational activities which can be done in functional and/or natural open space areas, i.e., hiking, walking, day picnicking, etc.
26. Planning Area: A designated sub-area of the Specific Plan with specified permitted uses and regulations covering development; also referred to as "pods" in the specific plan.
27. Public Facilities: Any non-commercial land use (whether publicly or privately owned) which is to be used and/or allocated for the general good of the public. These uses would include but are not limited to: parks, utilities, treatment facilities, community activity centers, detention basins, Home Owners Association, District, etc. Privately owned facilities will be subject to applicable land use regulations.
28. Recreation: Any private or public land use which relates to the pursuit of active or passive movement to refresh body or mind, such as: tennis, golf, baseball, soccer, swimming, walking, jogging, etc.
29. Regional Commercial Center: All uses found in commercial, and further includes uses designed to provide fullest range of goods and services including fast food, sports park, freeway outlet mall, and compatible multiple family housing.
30. Residential: Any land designated for the establishment of structures in which to live.
31. Residential Cluster: Arrangement of residential units to most effectively utilize the highly developable portions of a property and to maintain and preserve open space amenities. This is accomplished through reduction of individual lot sizes and setbacks, and reliance upon a density limits, rather than minimum lot sizes to dictate the number of units allowed in a development.
32. Single Family: A building containing only one dwelling unit.
33. Site: The land area consisting of a lot or contiguous lots (such as in commercial, industrial, and residential cluster) designated for development as a single entity.
34. Sub Planning Area: Sometimes referred to in this area as "sub-pod" or "sub-area." A further breakdown of a Planning Area or Pod such as in the event caused by subdividing or platting the larger planning area.

- 35. Split Level: The portion of a structure where any habitable space may be vertically off-set more than 3 feet but less than 8 feet.
- 36. Town Center: The central core of the Town of Sahuarita. Any planning area designated for the establishment of any combination of the following: structures and open space/plazas in which to provide municipal services; place where work or business that is administrative, professional, etc. is carried on; location of major retail commercial development; and the location for high density multi-family residential development.

C. General Provisions:

- 1. If an issue, condition or situation arises or occurs that is not addressed by this plan, those regulations of the Town of Sahuarita that are applicable are as follows:

Low Density Residential (LDR):	Equivalent is CR-1 (18.21) Single Residence Zone. (Includes Planning Area 33).
Medium Low Density Residential (MLDR):	Closest equivalent is CR-3 (18.23) Single Residence Zone. (Includes Planning Area 34).
Medium Density Residential (MDR):	Equivalent is CR-5 (18.25) Single Residence Zone. (Includes Planning Areas 1, 2, 3, 4, 5, 6, 9, 10, 11, 14, 15, 16, 17, 18, 29, 30, 31, 32, 36).
Medium High Density Residential (MHDR):	Equivalent is CR-5 (18.27) Multiple Dwelling Type Zone. (Includes Planning Area 19).
Town Center (TC):	Equivalent is RVC (18.41) Village Center Zone. (Includes Planning Areas 22, 23, 24, 25, & 28).
Mixed Use (MU):	Equivalent is CB-2 (18.45) General Business Zone. (Planning Area 35).
Regional Commercial (RC):	Equivalent is CB-2 (18.45) General Business Zone, (Includes Planning Areas 13, & 20) except Planning Area 37, where the equivalent is CB-1.
Park Industrial (PI):	Equivalent is CPI (18.49) Campus Park Industrial Zone. (Planning Areas 7, 26 & 27).
Public Facilities/Open Space (PF/OS):	No appropriate equivalent. (Includes Planning Area 8).
Educational Facilities (E):	No appropriate equivalent. (Includes Planning Areas 12, and 21).

2. If an issue, condition or situation arises or occurs that is not covered or provided for in this Specific Plan, those regulations of the Town of Sahuarita Zoning Code that are applicable for the most similar issue, condition or situation shall be used by the Zoning Inspector as guidelines to resolve the unclear issue, condition or situation. This provision shall not be used to permit uses or procedures not specifically authorized by this Specific Plan or the Town of Sahuarita Zoning Code.
3. This Specific Plan may be amended by the same procedure as it was adopted, by ordinance. Each request shall include all sections or portions of the Specific Plan that are affected by the change. All changes requested shall be submitted to the Planning Director for determination if the amendment would result in a substantial change in plan regulations. A substantial change is a change to the Specific Plan that alters the intended land use, density, or zoning of any given parcel within the Specific Plan boundaries.

If the request is determined to be an insubstantial change, the proposed amendment may be approved by the Planning Director. The following types of changes to explicit provisions in the Specific Plan may be made administratively by the Planning Director, subject to direct appeal to the Town Council.

- a. The addition of new information to the Specific Plan maps or text that does not change the effect of any regulations or guidelines;
- b. Changes to the community infrastructure planning and alignment such as roads, drainage, water and sewer systems which do not increase or decrease development capacity in the Specific Plan area.
- c. The determination that a use may be allowed which is not specifically listed as permitted, but which may be determined similar in nature to those uses explicitly listed as permitted, is made by the Chief Zoning Inspector. The Planning Director shall inform the Town Council when an insubstantial change has been denied. The applicant may then appeal the Director's decision within 20 working days of the Council's receipt of notification.

If the request is determined to be a substantial change, the proposed amendment shall require a noticed public hearing and action by the Sahuarita Town Council.

4. Whenever a use has not specifically been listed as a permitted use in a particular zone classification within the Specific Plan, adherence must be established with Section 18.90.080-C of the Specific Plan ordinance.

5. This Specific Plan does not propose changes to Town of Sahuarita Regulations or Town of Sahuarita Zoning Code Chapter 18.73 (Landscaping, Buffering and Screening Standards); or 18.79 (Sign Standards); as in effect at the time of adoption of this Specific Plan.
6. Model Homes are allowed in all residential areas in accordance with Town of Sahuarita Zoning ordinance.
7. The setback requirements are as specified within the development standards for each planning unit. If not otherwise specific, all setbacks shall be determined as the perpendicular distance from the existing or planned street right-of-way, or property line, to the foundation point of the closest structure, which ever is most restrictive.
8. Setbacks for all permitted accessory structures shall be the same as those required by the Town of Sahuarita Zoning Code under the most closely equivalent zoning classifications as addressed under VI.C.1.
9. Lot Size Flexibility Option: Minimum lot sizes within individual land use pods may be reduced up to 20%, providing that an area of land equal to the net reduction be set aside as active open space within the same pod. A park of at least 15,000 square feet for every 250 homesites shall be constructed. These parks shall be credited toward any active open space required by the Lot Size Flexibility Option. They shall only be required when the activity pod is located outside a 2,000 foot radius from an existing district or public park with the exception of Pod 35. (See Exhibit IV-B.9, Lot Size Flexibility Table) Pod 35 shall provide an additional 15,000 sf of park for every 250 homes (for a total of 30,000 sf) subject to the above provisions.
10. Total residential development in areas designated as Park Industrial (PI), Regional Commercial (RC), and Town Center (TC) shall not exceed a combined total of 2,271 dwelling units unless density transfer provision utilized.
11. In order to foster a community-oriented atmosphere, reduce vehicular trips and integrate a pedestrian scale lifestyle, local commercial development is encouraged throughout residential areas. One acre of neighborhood services land which is located in residential categories shall be allocated for every 100 housing units. These sites shall be located generally at major intersections scattered throughout the development and submitted along with subdivision plats for review. Initially, a threshold of 300 lots shall be met before this option may be exercised.
12. No more than one golf course-oriented resort hotel can be located in the residential categories. The resort hotel is allowed to be up to forty feet high, with the following setback requirements: 1) a minimum forty foot landscape buffer with a six foot wall, including four trees per 100 lineal feet, provided wherever the resort directly abuts residentially zoned property; 2) a 3:1 ratio of setback to

building height is required; and 3) a minimum of 15% of the resort site shall be devoted to landscape coverage.

13. Residential Density: Concentration of housing based on maximum number of residences per gross acreage.
 - Low Density Residential (LDR) - 1 residence per acre
 - Medium Low Density Residential (MLDR) - 3 residence per acre
 - Medium Density Residential (MDR) - 6 residence per acre
 - Medium High Density Residential (MHDR) - 10 residence per acre
 -
14. Site-delivered and site-built housing will not be mixed within the same subdivision except in Rancho Resort. Architectural review will be required for all site-delivered housing.
15. If a development pod, or portion thereof, is developed at a density outside the specific plan, zoned, land use category, either lower or higher, the development standards of that developed density category shall apply. For example, if an MDR pod is developed at MLDR densities, then MLDR standards shall apply to that pod or portion being developed.
16. Over-parking and under-parking of non-residential development sites shall be allowed up to a 10% increase or decrease by-right above or below the number of parking spaces required by the Zoning Code or Section IV.K: Commercial Parking Standards of this Specific Plan. All areas not required for buildings, access drives, parking spaces, and assessor uses shall be landscaped. The Planning Director may grant an administrative modification of parking requirements up to an additional 10% increase or decrease. The developer or property owner must request this 10% additional administrative modification and must justify it on a site-specific or user-specific basis. The fee for an administrative modification of parking requirements shall be per the Town fee schedule..
17. If development of the resort hotel or hotel use in Pods 20 and 25 is demonstrated to degrade the existing line of sight communications for emergency service providers, the developer shall provide an antenna location on that building.
18. Religious facilities, childcare facilities and educational facilities are permitted as uses within any of the Land Use Plan designations. These uses will be subject to the General Development Standards for Non-residential development under the applicable designation, and must be consistent with the standards outlined in Section V: Design Guidelines.
19. Ten acres of Pod 35 shall be set aside for commercial use for a period of five years from the approval of the specific plan amendment (SA12-03-04). After five years, this restriction shall expire and all MU uses will be allowed.

20. No additional age-restricted communities will be allowed within the Specific Plan, with the exception of Regions 1, 3 and 8.
21. No subsequent annexation into this specific plan following approval of SA12-03-04 with the exception of SA-10-03, annexing approximately 5.51 acres of commercially zoned land at the northeast corner of Sahuarita Road and Rancho Sahuarita Boulevard.

D. Land Use Plan Designations:

Land Use designations have been assigned to each planning area identified in the Rancho Sahuarita Specific Plan. Their permitted uses and development standards are described in the following sections.

Development Regulations

Exhibit IV-B.9: Lot Size Flexibility Table

POD	ZONING	ACRES	MINIMUM LOT SIZE (SQ. FT.)	RAC	DWELLING UNITS	REDUCTION OPTION (20%) (SQ.FT.)	OPEN SPACE CREDIT (SQ.FT.)	TOTALS (ACRES)
1	MDR	38	5000	6	228	4000	1000	5
2	MDR	18	5000	6	108	4000	1000	2
3	MDR	97	5000	6	582	4000	1000	13
4	MDR	20	5000	6	120	4000	1000	3
5	MDR	67	5000	6	402	4000	1000	9
6	MDR	59	5000	6	354	4000	1000	8
7	PI	15		22	*			
8	PF/OS	249			0			
9	MDR	145	5000	6	870	4000	1000	20
10	MDR	136	5000	6	816	4000	1000	19
11	MDR	307	5000	6	1782	4000	1000	41
12	E	10			0			
13	RC	219		22	*			
14	MDR	35	5000	6	162	4000	1000	4
15	MDR	52	5000	6	312	4000	1000	7
16	MDR	40	5000	6	240	4000	1000	6
17	MDR	60	5000	6	360	4000	1000	8
18	MDR	45	5000	6	270	4000	1000	6
19	MHDR	19	3500	10	140	2800	700	2
20	RC	22		22	*			
21	E	29			0			
22	TC	25		22	*			
23	TC	42		22	*			
24	TC	63		22	*			
25	TC	19		22	*			
26	PI	66		22	*			
27	PI	155		22	*			
28	TC	67		22	*			
29	MDR	134	5000	6	768	4000	1000	18
30	MDR	112	5000	6	550	4000	1000	15
31	MDR	24	5000	6	98	4000	1000	4
32	MDR	27	5000	6	138	4000	1000	3
33	LDR	49	35000	1	46	28000	7000	7
34	MLDR	21	8000	3	63	6400	1600	2
35	MU	265		22	946			
36	MDR	9	5000	6	54			
37	RC	5.51		22	*			
DRAINAGE		196			0			
RIGHT OF WAY		129			0			
TOTAL ACRES		3,089.51						
TOTAL DWELLING UNITS					11,680			
GROSS DENSITY					3.82			

*The combined total dwelling units for these pods shall not exceed 2,271 unless density transfer provisions utilized. Residential use not allowed in Pod 35 until 2003 General Plan is ratified by voters.

E. Development Area Categories:

1. LDR - (Low Density Residential): Planning Area 33.

a. Permitted Uses:

- 1) Single Family Detached;
- 2) Accessory Structures;
- 3) Parks, Playgrounds, and Community/Public Owned Buildings other than Hospitals;
- 4) Recreation/Open Space, Retention/Detention;
- 5) Golf Course and Maintenance Facilities;
- 6) Public Facilities;
- 7) Neighborhood Services.

b. General Development Standards:

- 1) Minimum Lot: 35,000 square feet.
- 2) Maximum Building Coverage: None.
- 3) Maximum Building Height: Twenty-nine feet (29').
- 4) Building Setbacks:
 - Front: 30 feet (15' for side-entry garages)
 - Side: 10 feet
 - Rear: 40 feet
- 5) Parking: 2 off-street spaces per dwelling unit.

2. MLDR - (Medium Low Density Residential): Planning Area 34.

a. Permitted Uses:

- 1) Single Family Detached;
- 2) Accessory Structures;
- 3) Parks, Playgrounds, and Community/public Owned Buildings other than Hospitals;
- 4) Recreation/Open Space, Retention, Detention;
- 5) Golf Course and Maintenance Facilities;
- 6) Public Facilities;
- 7) Neighborhood Services.

b. General Development Standards

- 1) Minimum Lot Area: Eight Thousand (8,000) square feet.
- 2) Maximum Building Coverage: None.
- 3) Maximum Building Height: Twenty-nine feet (29').
- 4) Building Setbacks:
 - Front: Dwelling unit 20 feet
Garage (side entry) 8 feet
Garage (front entry) 20 feet
 - Side: 5 feet
 - Rear: 20 feet

5) Parking: 2 off-street spaces per dwelling unit.

3. MDR - (Medium Density Residential): Planning Areas 1, 2, 3, 4, 5, 6, 9, 10, 11, 14, 15, 16, 17, 18, 29, 30, 31, 32 and 36.

a. Permitted Uses:

- 1) Single Family Detached and attached units including zero lot line products.
- 2) Educational Facilities;
- 3) Recreational Facility;
- 4) Accessory Structures;
- 5) Parks, Playgrounds, and Community/Public Owned Buildings other than Hospitals;
- 6) Golf Course and Maintenance Facilities;
- 7) Public Facilities;
- 8) Neighborhood Services;
- 9) Resort Hotel in conjunction with golf course subject to the criteria set forth in General Provisions (paragraph IV-C.12).

b. General Development Standards - Residential

- 1) Minimum Lot Area: Five Thousand (5,000) square feet.
- 2) Maximum Building Coverage: None.
- 3) Maximum Building Height: Twenty-nine feet (29').
- 4) Building Setbacks:
 - Front: Dwelling unit 20 feet
Garage (side entry) 8 feet
Garage (front entry) 20 feet
 - Side: None required from the side property line if attached; required minimum of 7' between residential structures if detached.
 - Rear: 20 feet (Z-lots, if used, may be reduced to a 10 foot setback).
- 5) Parking: 2 off-street spaces per dwelling unit.

4. MHDR - (Medium High Density Residential): Planning Area 19.

a. Permitted Uses:

- 1) Residential Dwelling Units
- 2) Educational Facilities;
- 3) Recreational Facility;
- 4) Accessory Structures;
- 5) Parks, Playgrounds, and Community/Public Owned Buildings other than Hospitals;
- 6) Golf Course and Maintenance Facilities;

Development Regulations

- 7) Public Facilities;
- 8) Neighborhood Services;
- 9) Resort Hotel in conjunction with golf course subject to the criteria set forth in General Provisions (paragraph IV-C.12).

b. General Development Standards - Residential

- 1) Minimum Lot Area: 3,500 square feet.
- 2) Maximum Building Coverage: None.
- 3) Maximum Building Height:
 - Residential Dwelling Units: 29 feet.
 - Residential Dwelling Units using Transfer of Density provision: 38 feet, three stories (per SAB-24-00003).
 - All other uses: 29 feet.
- 4) Building Setbacks:
 - Front: Dwelling unit 15 feet
Garage (side entry) 8 feet
Garage (front entry) 20 feet
 - Side: None required if attached, required minimum of 3' between residential structures if detached.
 - Rear: 15 feet
- 5) Parking: 2 off-street spaces per dwelling unit.

c. Development Standards – Residential Cluster

- 1) Maximum Density allowed 22 RAC.
- 2) Average Area per Dwelling Unit: 2,000 square feet
- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Twenty-nine feet (29').
- 5) Project Site Setbacks:
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 10 feet
- 6) Parking: 2 off-street spaces per dwelling unit.
- 7) Building Setbacks: per applicable building code.

5. TC - (Town Center): Planning Areas 22, 23, 24, 25, and 28.

a. Permitted Uses

- 1) Municipal Facilities;
- 2) Commercial;
- 3) Financial Institutions;
- 4) Office;
- 5) Residential Dwelling Units;

- 6) Commercial Recreation;
- 7) Accessory Structures;
- 8) Parks, Playgrounds, and Recreation/Open Space;
- 9) Golf Course and Maintenance Facilities;
- 10) Public Facilities;
- 11) Child Care;
- 12) Medical Hospital Complex. A medical hospital complex is one or more buildings, one of which must be a hospital (defined as an institution to provide medical and surgical care to the sick or injured, including operating room facilities and beds for overnight stay). A Hospital Complex may also include a cafeteria or restaurant, medically related heliports, nursing homes, extended care clinics, physical therapy/employee exercise facilities, employee housing, temporary patient/patient family housing, and shops for medical equipment, pharmaceutical supplies, gifts, books, magazines, toiletries, flowers, candy, or similar items, provided such uses are primarily for the benefit of patients, staff, and visitors, and are located so as to not normally attract other retail customers. A Hospital Complex may also include, in the same building as the hospital or in separate buildings, other health care and health-care-related services, which may include but shall not be limited to the following; health centers and child care centers, optical facilities, and medical office buildings. The complex will be considered a Hospital Complex even if the first building is not a hospital, as long as a hospital is contemplated and construction commences on such hospital within five years of the completion of the first building. "Completion" for purposes of this Hospital Complex definition shall mean the date of issuance of an occupancy permit from the Town of Sahuarita.

b. General Development Standards - Non-Residential

- 1) Minimum Lot Area: None
- 2) Maximum Building Coverage: 60%
- 3) Maximum Building Height: 56 feet; the exception is the northern third of Pod 22 where the height is not to exceed thirty-nine feet (39').
Building heights within Pod 23 are increased from twenty-nine (29) feet to ninety (90) feet in the event a medical hospital complex is constructed.
- 4) Maximum Floor Area Ratio: 2.0
- 5) Building Setbacks:
 - Front: 0 feet

Development Regulations

- Side: 0 feet
- Rear: 0 feet

- 6) Parking: see section IV.K: Commercial Parking Standards of this Specific Plan and Chapter 18.75 of the Pima County/Town of Sahuarita Zoning Code.
- 7) Minimum Landscape Coverage: 8% of gross site area.

c. General Development Standards - Residential

- 1) Development pods 22, 23, 24, 25, & 28 allowed for residential use.
- 2) Maximum Density allowed 22 RAC.
- 3) Minimum Lot Area: None for attached; for detached, consistent with comparable residential development areas.
- 4) Maximum Building Coverage: None.
- 5) Maximum Building Height: Fifty-six feet (56'); the exception is the northern third of Pod 22 where the height is not to exceed thirty-nine feet (39")
- 6) Building Setbacks:
 - Front: 20 feet
 - Side: None required from the side property line, required minimum of 7' between residential structures.
 - Rear: 20 feet
- 7) Parking: 2 off-street spaces per dwelling unit.

d. General Development Standards- Town Center Area

That area in planning pods 24 and 25 shall be known as the Town Center area. To ensure achievement of a mixed-use area in the Town Center, the following additional development standards shall apply to the Town Center area.

- 1) There shall be constructed an east-west roadway connecting the roadway which bisects the municipal complex site in planning pod 24 with the southern extension of Rancho Sahuarita Boulevard (the "connecting road"). All property which includes frontage along the connecting road (or the anticipated alignment of the connecting road) shall be known as property in the "Main Street Corridor."
- 2) Fifty percent of the ground level facades on the Main Street Corridor, as measured in lineal feet, shall be for commercial uses (such uses defined as commercial

retail, offices, eating and drinking establishments, and recreation oriented buildings) and not residential uses. This standard shall not limit residential uses that are behind or adjacent to commercial uses on the Main Street corridor and otherwise found to be in adherence with Town of Sahuarita Code and Ordinances, and this standard does not require that fifty percent of every individual building, phase or development on the Main Street corridor shall be for commercial use. The evaluation of lineal frontage(s) and adjoining floor areas, for commercial and residential uses in adherence with this standard shall occur during the review and approval process of commercial development plan and residential development plans/plats.

3) Commercial uses constructed on the Main Street Corridor shall be directly accessible by pedestrians through ground floor entryways located directly on the connecting road.

4) Upon build-out planning pod 25 shall include at least 65,000 square feet of commercial uses.

5) Any commercial development plan or residential development plan/plat located east of Rancho Sahuarita Boulevard and within 1,250 feet south of Sahuarita Road (except for the commercial development plan within Block 45, Case #SA12-06-04) shall include details related to its segment of the Main Street Corridor, and shall generally correspond to the above development standards and illustrated on the circulation plan (Exhibit III-D.1). Such details regarding the connecting road shall include alignment and cross-section illustrating construction standards that generally include 2 travel lanes and angled parking. Also, included on the development plan or residential plat/plan shall be the anticipated off-site alignment of the connecting road, which shall be subject to adjustment based on future development plans and residential plans/plats.

6) The provisions of this section IV(E)(5)(D) shall sunset and be of no further force and effect on May 11, 2016.

e. Development Standards – Residential Cluster

1) Maximum Density allowed 22 RAC.

Development Regulations

- 2) Average Area per Dwelling Unit: 2,000 square feet
- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Fifty-six feet (56'); the exception is the northern third of Pod 22 where the height is not to exceed thirty-nine feet (39')
- 5) Project Site Setbacks:
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 10 feet
- 6) Parking: 2 off-street spaces per dwelling unit.
- 7) Building Setbacks: per applicable building code.

6. MU - (Mixed Use): Planning Area 35.

a. Permitted Uses:

- 1) Municipal Facilities;
- 2) Commercial;
- 3) Financial Institutions;
- 4) Office;
- 5) Residential Dwelling Units;
- 6) Commercial Recreation;
- 7) Accessory Structures;
- 8) Parks, Playgrounds, and Recreation/Open Space;
- 9) Public Facilities;
- 10) Child Care;
- 11) Congregate Care.

b. General Development Standards - Non-Residential

- 1) Minimum Lot Area: None
- 2) Maximum Building Coverage: 60%³
- 3) Maximum Building Height: 34 feet, except one hotel with a maximum height of 40' may be allowed in pod 25.
- 4) Maximum Floor Area Ratio: 2.0
- 5) Building Setbacks:
 - Front: 15 feet
 - Side: None
 - Rear: 10 feet
- 6) Parking: see section IV.K: Commercial Parking Standards of this Specific Plan and Chapter 18.75 of the Town of Sahuarita Zoning Code.
- 7) Minimum Landscape Coverage: 8% of gross site area.

c. General Development Standards - Residential

- 1) Maximum Density allowed 22 RAC.
- 2) Minimum Lot Area: None for attached; for detached, consistent with comparable residential development areas.

Development Regulations

- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Twenty-nine feet (29')
- 5) Building Setbacks:
 - Front: Dwelling unit 15 feet
Garage (side entry) 8 feet
Garage (front entry) 20 feet
 - Side: None required if attached, required minimum of 3' between residential structures if detached.
 - Rear: 15 feet
- 6) Parking: 2 off-street spaces per dwelling unit.

d. General Development Standards – Residential Cluster

- 1) Maximum Density allowed 22 RAC.
- 2) Average Area per Dwelling Unit: 2,000 square feet.
- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Twenty-nine feet (29').
- 5) Project Site Setbacks:
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 10 feet
- 6) Parking: 2 off-street spaces per dwelling unit.
- 7) Building Setbacks: per applicable building code.

7. **RC - (Regional Commercial Center):** Planning Areas 13, 20 and 37 (see Appendix N for prohibited CB-1 uses specific to Pod 37).

a. Permitted Uses:

- 1) Commercial Retail;
- 2) Residential Dwelling Units (except Pod 37);
- 3) Accessory Structures;
- 4) Golf Course and Maintenance Facilities (except Pod 37);
- 5) Warehousing (except Pod 37);
- 6) Fast Foods;
- 7) Mini-Storage (except Pod 37);
- 8) Driving Range;
- 9) Sports Park;
- 10) Factory Outlet Mall and Uses;
- 11) Child Care;
- 12) RV Park or mobile home park for lease (permitted in Development Pod 13).
- 13) Seasonal Sales

b. General Development Standards - Non-Residential

- 1) Minimum Lot Area: None
- 2) Maximum Building Coverage: 60%

Development Regulations

- 3) Maximum Building Height: Thirty-four feet (34') east of the freeway; west of the freeway, and forty-five feet (45') in pod 13.
- 4) Maximum Floor Area Ratio: 2.0
- 5) Building Setbacks:
 - i. For Pods 13, 20 (Lots 4 through 8 in Book 63 at Page 12 of M&P):
 - Front None
 - Side None
 - Rear None
 - ii. For the remainder of Pod 20 and Pod 37;
 - Front 15 feet
 - Side None
 - Rear 10 feet
- 6) Parking: See Section IV.K: Commercial Parking Standards of this Specific Plan and Chapter 18.75 of the Town of Sahuarita Zoning Code
- 7) Minimum Landscape Coverage: 8% of gross site area.

c. General Development Standards - Residential

- 1) Maximum Density allowed 22 RAC.
- 2) Minimum Lot Size: Fifteen hundred (1,500) square feet.
- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Twenty-nine feet (29') east of the freeway, except one hotel with a maximum height of 40' may be allowed in pod 20; west of the freeway, and forty-five feet (45') in pod 13.
- 5) Building Setbacks:
 - Front: 20 feet
 - Side: None required from the side property line, required minimum of 7' between residential structures.
 - Rear: 20 feet
- 6) Parking: 2 off-street spaces per dwelling unit.

- d. General Development Standards – Rancho Resort (Pod 13a)
- 1) Maximum Density allowed 22 RAC
 - 2) Minimum Lot Size: Fifteen hundred (1,500) square feet.
 - 3) Maximum Building Coverage: None.
 - 4) Maximum Building Height: Forty-five (45) feet.
 - 5) Building Setbacks:
 - Front: 7 ft.
 - Side: None required from the side property line, required minimum of 6 ft. between residential structures.
 - Rear: None required from the rear property line, required minimum of 6 ft. between residential structures.
 - 6) Parking: 2 spaces per dwelling unit (minimum one space onsite)
- e. General Development Standards – Residential Cluster
- 1) Maximum Density allowed 22 RAC.
 - 2) Average Area per Dwelling Unit: 2,000 square feet
 - 3) Maximum Building Coverage: None.
 - 4) Maximum Building Height: Twenty-nine feet (29').
 - 5) Project Site Setbacks:
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 10 feet
 - 6) Parking: 2 off-street spaces per dwelling unit.
 - 7) Building Setbacks: per applicable building code.

8. PI - (Park Industrial): Planning Areas 7, 26 & 27.

- a. Permitted Uses:
- 1) Municipal Facilities;
 - 2) Office;
 - 3) Mobile Home Park or Subdivision; may also include detached and attached conventional housing.
 - 4) Commercial Recreation;
 - 5) Accessory Structures;
 - 6) Parks, Playgrounds, and Recreation/Open Space;
 - 7) Golf Course and Maintenance Facilities;
 - 8) Public Facilities;
 - 9) RV Park (Pod 27) or Storage (Pod 7 or 27);
 - 10) Mini-Storage;
 - 11) Warehousing;
 - 12) Child Care;

- 13) Research and Development;
- 14) Manufacturing and Assembly;
- 15) Commercial Retail;
- 16) Uses permitted under RC;
- 17) Data Center

b. General Development Standards - Non Residential

- 1) Minimum Lot Area: 25,000 Square Feet.
- 2) Maximum Building Coverage: 60%
- 3) Maximum Floor Area Ratio: 3.0
- 4) Maximum Building Height: Not to exceed 56' west of the freeway; the exception is a 600-foot setback north of El Toro Road where the height is not to exceed forty (40') feet.
- 5) Minimum Building Setbacks:
 - Front None
 - Side None
 - Rear None
- 6) Parking: See Section IV.K: Commercial Parking Standards of this Specific Plan and Chapter 18.75 of the Town of Sahuarita Zoning Code.
- 7) Minimum Landscape Coverage: 8% of gross site area.
- 8) Performance Standards:
 - A. The following performance standards shall apply to all uses in this zone:
 1. Noise or vibration: No noise or vibration shall be permitted which is discernible beyond the lot line to the human sense of feeling for:
 - a. Three minutes or more duration in any one hour of the day between the hours of seven a.m. and seven p.m., or
 - b. Thirty seconds or more duration in any one hour during the hours of seven p.m. to seven a.m.;
 2. Smoke: No emission of smoke from any source shall be permitted;
 3. Odors: No emission of odorous gases or other odorous matter shall be permitted;
 4. Fly ash, dust, fumes, vapors, gases and other forms of air pollution: No emission shall be permitted which can cause any damage to health, damage to animals or vegetation, or damage to or soiling of other forms of property;

Development Regulations

5. Liquid and solid waste: No wastes shall be discharged in the streets, drainageways or on any property except in appropriately designed disposal systems;
 6. Radioactive materials:
 - a. Manufacturing activities involving the use, storage, or disposal of radioactive materials are prohibited except for those materials:
 - 1) Which do not become an integral part of the manufactured product or,
 - 2) Which are exempt from licensing requirements by the Arizona Radiation Regulatory Agency or its legally established successor, or
 - 3) Used for medical diagnosis and therapy and for educational or industrial research and development.
 - b. For the purpose of this subsection, "research and development" means either:
 - 1) Theoretical analysis, exploration or experimentation, or
 - 2) The extension of investigative findings and theories of a scientific or technical nature into practical application of experimental and demonstration purposes, including production and testing of models, equipment, materials, etc.
 7. Exterior storage:
 - a. Exterior storage shall be screened from view by a masonry wall designed to match the building materials of the primary building.
 - b. The height of material within storage areas shall not exceed the height of the screen.
 8. Exterior Illumination:
 - a. Illumination of buildings and parking areas shall have a low profile.
 - b. Light sources shall not be visible from public streets and adjoining properties, and shall meet all conditions of the county light pollution code (Title 17).
- c. General Development Standards - Residential:
- 1) Development pod 27 allowed for residential development with a maximum density allowed 22 RAC. Development pod 35 allowed for residential development with a

Development Regulations

maximum density of 22 RAC upon ratification of the 2003 General Plan.

- 2) No more than 50% of the total area may be used for mobile homes.
- 3) Minimum Lot Area:
 - Single Family - Five Thousand (5,000) square feet.
 - Attached or multiple dwelling unit: Fifteen hundred (1,500) square feet.
- 4) Maximum Building Height: Thirty-four feet (34'); west of the freeway, 40 feet (40') in Pod 26.
- 5) Building Setbacks:
 - Front: Dwelling unit 15 feet
Garage (side entry) 8 feet
Garage (front entry) 20 feet
Exception: For multifamily development along El Toro Road, a 75' setback is required.
 - Side: None required from the side property line, required minimum of 7' between residential structures.
 - Rear: 15 feet
 - Buffer: A 20-foot landscaped buffer yard containing a minimum of 6 canopy trees, 6 shrubs, and 9 accents, flowers, or vines per 100 lineal feet where residential uses are contiguous to industrial uses.
- 6) Maximum Building Coverage: 60%.
- 7) Parking: 2 off-street spaces per dwelling unit.
- 8) Residential uses within PI pods may not occur for 7 years from adoption and recording of the specific plan.

d. General Development Standards – Residential Cluster

- 1) Maximum Density allowed 22 RAC.
- 2) Average Area per Dwelling Unit: 2,000 square feet.
- 3) Maximum Building Coverage: None.
- 4) Maximum Building Height: Twenty-nine feet (29').
- 5) Project Site Setbacks:
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 10 feet
- 6) Parking: 2 off-street spaces per dwelling unit.
- 7) Building Setbacks: per applicable building code.

e. Development Standards – Data Center

- 1) The following information shall be provided to the Town prior to issuance of building permits for a data center or associated equipment:
 - a) A will-serve statement from the electric utility that confirms the following:
 - The intended provider of electric power for the development; and
 - Sufficient power exists to serve the site and will not negatively impact other users or the existing grid.
 - b) A will-serve statement from the water utility that confirms the following:
 - The intended provider of water for the development; and
 - Sufficient water resources exist to serve the site without negatively impacting other users.
- 2) The Town may enter into a Development Agreement with the developer or end user to define requirements for reclaimed water infrastructure and use.
- 3) Noise attenuation. In addition to the setbacks in IV.E.8.e.5 below, the developer shall ensure that any noise attenuation equipment necessary to meet the noise standards specified in the Performance Standards for the Park Industrial development area is planned for and installed prior to the start of operation.
- 4) Setbacks. Any data center building, equipment for cooling, ventilating, or otherwise operating the facility, power generator, or other power supply equipment must be located:
 - a) At least 400 feet from the property line of any adjacent property that is planned or zoned for rural or residential land uses or other noise sensitive uses as reasonably determined by the Zoning Administrator. This requirement shall not apply to land that is zoned rural or residential but which is used as a permanent or semi-permanent industrial use, such as mining or landfill.
 - b) At least 50 feet from public right-of-way. This requirement is not applicable to interstate freeways.
- 5) Generators
 - a) Generators and generator use must comply with state and federal regulations.
 - b) If a data center uses diesel generators, only tier IV or newer generators are permitted.

- c) Except for generator testing or commissioning activities, generator use is limited to backup/emergency use only. Generator testing shall be limited to weekdays between 7:00 a.m. and 7:00 p.m., except in emergencies.
- 6) Screening. Substations and mechanical equipment shall be screened from public and private rights-of-way (except private rights-of-way that are within the data center site) and from any adjacent property that is planned or zoned for any use other than industrial uses.
 - a) Substations shall be screened by a visually solid wall or other visually solid screen that shall be constructed of materials compatible with those used in the exterior construction of the principal building. The height of these features shall be the lesser of 10 feet or a height sufficient to fully screen the substation.
 - b) Mechanical equipment may be screened by either:
 - A visually solid fence, screen wall, or parapet wall constructed of materials compatible with the principal building; or
 - New landscape or bufferyard improvements of a height and density sufficient to substantially screen the equipment.
- 7) Parking. A data center's minimum parking requirement may be satisfied through either of the following two methods:
 - a) A ratio-based calculation of 1 space per 5,000 square feet for the first 100,000 square feet and 1 space per 10,000 square feet thereafter; or
 - b) A Parking Analysis prepared by a traffic engineer or similar transportation professional and submitted by the developer prior to or concurrent with the required Development Plan and approved by the Zoning Administrator in consultation with the Town Engineer. The purpose of this analysis is to demonstrate that the proposed number of parking spaces is sufficient to serve the operational needs of the facility without creating off-site parking impacts on adjacent properties or public streets.
- 8) Minor deviations to standards IV.E.8.e.1) through .7), if consistent with their intent as may be reasonably determined by the Zoning Administrator, may be approved as an administrative change to the Specific Plan.
- 9) Data centers shall comply with the Performance Standards as specified in IV.E.8.b.8.

9. PF/OS- (Public Facilities/Open Space): Planning Area 8.

a. Permitted Uses:

- 1) Wastewater Treatment Facility;
- 2) Maintenance Facility;
- 3) Parks, Playgrounds, and Community/Public Owned Buildings Other than Hospitals;
- 4) Recreation/open space, Retention, Detention;
- 5) Public Facilities;
- 6) District Owned Facilities;
- 7) Private Water Company;
- 8) Open Space;
- 9) Golf Course(s);
- 10) Tennis;
- 11) Basketball;
- 12) Trails and/or Passive Recreation;
- 13) Driving Range;
- 14) Sports Park.

b. General Development Standards - Non-residential

- 1) Minimum Lot Area: None
- 2) Maximum Building Coverage: 40%
- 3) Maximum Floor Area Ratio: 2.0
- 4) Maximum Lot Area: None
- 5) Maximum Building Height: Not to exceed 34' unless approved for public facilities.
- 6) Minimum Building Setbacks:
 - Front 30 feet
 - Side 10 feet
 - Rear 20 feet
- 7) Parking: Shall be in accordance with Chapter 18.75 of the Town of Sahuarita Zoning Code.
- 8) Minimum Landscape Coverage: 8% of gross site area.

c. General Development Standards:

- 1) Utility and road crossings per Design Review Committee approval.
- 2) Maintenance road per Design Review Committee approval.
- 3) Trails/linear park development per Design Review Committee Approval.

10. PF/OS/dr - (Public Facilities/Open Space/Drainage):

a. Permitted Uses:

- 1) Uses permitted under PF/OS;

- 2) Drainage facilities.
- 3) Resort subject to the criteria set forth in General Provisions (paragraph IV-C.12).

11. Vegetation Preservation/Salvage Standards:

Disturbance will be mitigated through the following measures: This applies to native vegetation as protected in the Arizona Native Plant Law: *Carnegiea gigantea* (Saguaro), *Cercidium microphyllum* (Foothill Palo Verde), *Cercidium floridum* (Blue Palo Verde), *Ferocactus species* (Barrel Cactus), and *Prosopis species* (Velvet Mesquite).

- a. Saguaros shall be preserved in place where practical as a first option. As a second option, all healthy, moveable specimens shall be relocated to other approved locations within the development pod they originally occupied. Every effort shall be made to preserve existing saguaros. Unhealthy or non-salvageable specimens that are destroyed as a result of development of the property shall be replaced on a one to one basis within the development pod where the original specimen was located. Saguaro survival shall be monitored, and any saguaros which die within five years from the date of transplantation or placement shall be replaced by a minimum three-five foot high saguaro specimen.
- b. A landscape plan will be provided at the time of tentative plat or development plan submittal, which contains an inventory of all trees on the site of two-inch caliper size or greater. The inventory shall include documentation of the existence or absence of endangered or threatened plant species on the site. The landscaping plan will provide for either the transplanting, preserving or planting of at least as many trees as were originally inventoried on the site. Newly planted nursery trees will be fifteen gallon size or larger. This provision will pertain to all construction activity within the plan area.
- c. Construction Process/Mitigation Plan: A mitigation plan shall be developed for protected/endangered species in the event they are found on-site during the construction process.
- d. Construction Process Protection: If endangered or threatened species are found during the construction process, they shall be protected and their location monitored until appropriate measures have been taken to relocate the animals per the conditions of the mitigation plan.

F. Public Facilities Regulation

1. **Utility Lines:** New utility lines within the project will be placed underground to provide an attractive and marketable development. Exceptions to this general rule may occur as a result of specific utility company rules and regulations or where the costs of undergrounding, due to the size and nature of a specific installation, are prohibitive. Additionally, temporary overhead lines may be used on an interim basis.

G. Hydrology/Drainage Regulations

1. **Encroachment into Regulatory Floodplains:** Encroachment into the newly created regulatory floodplains (i.e. those with a 100-year flow of more than 100 cfs) will be allowed for the following:
 - Building sites (on a limited basis)
 - Roadway dip crossings;
 - All-weather street crossings;
 - Channelization/bank protection as subject to the review and approval of the Town of Sahuarita or District;
 - Accommodate detention basins and their associated outlets;
 - Utility crossings in accordance with the previously-stated Public Facilities policies;

 - Golf course, driving range, and other recreational uses.
2. **Maintenance:** All detention basins, channelized drainages, and naturally-preserved washes shall be diligently attended to and maintained so as to preserve their hydrologic integrity, function and efficiency, and to represent suitably aesthetic features.

H. Archaeological Regulations

The Rancho Sahuarita property has been subjected to a full pedestrian cultural resource inventory by a qualified archaeological consultant. In consultation with the Town of Sahuarita and Pima County, appropriate measures will be taken to either avoid or mitigate impacts to sites that are determined to be scientifically significant. Archaeological sites will be recorded and if needed, mitigated to Pima County and Arizona State Museum guidelines.

I. Building Height Regulations

Building height limitations are defined in section IV-E, however, structures exceeding height limitations that are east of I-19 in zoning districts, TC, RC and PF/OS will require development plan approvals from the town council.

J. Home Improvement Superstore Operational Standards

Home Improvement Superstores may implement the following operational practices:

1. Seasonal sales: A +/- 10,000 square foot area in the parking lot in front of the garden center will be utilized as permitted use for seasonal sales and will be fenced off when in use. The parking spaces used for the seasonal sales area will not be replaced by other parking area and additional parking will not be provided. Seasonal sales merchandise will include but not limited to, Christmas trees, pumpkins, plants and nursery materials and carpets, rugs and floor coverings. The seasonal sales area will be utilized a maximum of eight times per year. Two sales annually will be six weeks in length with the remaining a maximum of four weeks each.
2. Outdoor Product Display: A +/-1,620 square foot area (approximately 7 parking stalls) will be utilized to display items including but not limited to portable buildings and work sport trailers. This area will not be parked.
3. Outdoor Display: A +/-4,154 square foot area in front of the store will be utilized to display merchandise year round including, but not limited to, garden supplies, decorator items, patio furniture, propane exchange, plants and seasonal items. This area will not be parked,
4. Load “n” Go: Two Load “n” Go gasoline powered flatbed trucks will be parked in the parking lot for customers to transport purchases.
5. Truck Delivery areas: Primary merchandise delivery will occur at an uncovered loading dock with three truck bays at the rear of the store which will be screened, a lumber off loading pad at the rear of the store and garden center loading pad primarily used by customers, which will not be screened. Merchandise deliveries will occur 24 hours a day. Temporary staging and storage of delivery merchandise shall be limited to a period of twenty-four hours.
6. The standards listed in Article IV, Section J shall control regardless of more restrictive standards in the Rancho Sahuarita Specific Plan or the Town of Sahuarita Zoning Code that would otherwise apply.

K. Commercial Parking Standards

The following commercial parking standards and Exhibit IV.K shall apply to all non-residential zones including TC (Pods 23, 23[excluding Block 36A, 36B, and 36C in Book 48 at Page 30 of ROS], 24 [excluding Post Office and Lots 1 and 2 in

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Book 63 at page 63 of M&P], 25, and 28), RC (Pods 13, 13a [Tract 1 and 3 in Book 56 at Page 78 of M&P], 20 [Lots 4 through 8 in book 63 at Page 12 of M&P], and 37), PI (Pods 7, 26 and 27), and MU (Pod 35).

On-Street parking shall be counted toward the on-site parking within the TC Town Center (Pod 22, 23, [excluding Block 36A, 36B, and 36C in Book 48 at Page 30 of ROS], 24 [excluding Post Office and Lots 1 and 2 in Book 63 at Page 63 of M&P], 25 and 28), and PI Park Industrial (Pod 26 & 27). On-Street Parking shall not be allowed on Sahuarita Road and/or Rancho Sahuarita Boulevard. On-Street parking shall be located immediately adjacent to the property for which the parking is being counted and shall be directly and safely accessible from the property. Applicant must demonstrate during the development plan process that the use of on-street parking will not result in overflow parking into adjacent residential areas.

Development Regulations

Exhibit IV-K: Commercial Parking Standards

5. Commercial, retail:				
Types of Land Uses	Employee or Resident Parking	Visitor or User Parking	Parking lot Intensity	Loading Bay Intensity
Groceries, drugs, sundries, liquor	Included in Visitor or User Parking	Five for each 1,000 sq. ft. of gross floor area	High	Medium
Department stores	Included in Visitor or User Parking	One for each 200 sq. ft. of gross floor area	Medium	Medium
General Retail, such as book stores, dry goods, hardware, secondhand sales, stationery, varieties and notions, hobby stores, clothes, sporting goods, toys, jewelry, pet shops, auto parts and other general merchandise	Included in Visitor or User Parking	3.5 for each 1,000 sq. ft. of gross floor area	Medium	Low
TV and radio repair; appliance repair, tailors and cleaners, art galleries and studios	Included in Visitor or User Parking	One for each 300 sq. ft. of gross floor area	Medium	Low
Furniture and appliances, photo studios	One for each two persons employed	One for each 400 sq. ft. of gross floor area	Medium	Medium
Home Improvement Superstores	Included in Visitor or User Parking	3.5 spaces for each 1,000 sq. ft. of gross floor area	High	Medium
Discount superstores/clubs (freestanding)	Included in Visitor or User Parking	5.0 spaces for each 1,000 sq. ft. of gross floor area	High	Medium
Shopping centers Under 400,000 sq. ft. 400,000 to 600,000 sq. ft. Over 600,000 sq. ft.	Included in Visitor or User Parking	4.0 for each 1,000 sq. ft. of gross floor area 4.25 for each 1,000 sq. ft. of gross floor area 4.5 for each 1,000 sq. ft. of gross floor area	High	Medium
Banks	One for each two persons employed	Three for each teller's window plus one for each service desk; or if no teller windows, two for each service desk	High	Low
6. Commercial eating and drinking:				
Cafes, restaurants, cafeterias, bars	One for each two persons employed	10 spaces for each 1,000 sq. ft. of gross floor area	High	Medium
Drive-ins, food bars, juice stands and other outside establishments	One for each two persons employed	15 spaces for each 1,000 sq. ft. of gross floor area	High	Low
7. Commercial, automotive:				
Service station (fuel dispensing)	One for each company vehicle	Two for each service bay	Medium	Low
Auto repair	One for each two persons employed	Two per service island	High	Low
	One for each company vehicle,	One for each 100 sq. ft. auto service area	Low	Low

Development Regulations

		one for each two persons employed			
	Auto agencies – new/used	One for each two persons employed	One for each 500 sq. ft. of showroom area plus one for each 10 vehicles displayed (or stored)	Medium	Low
	Auto and truck rental	One for each two persons employed, one for each company vehicle	One for each 10 vehicles stored on premises		
	RV, mobile home and motorcycle sales and repair	One for each two persons employed	One for each 10 vehicles displayed (or stored) plus 2 for each repair bay		
8. Commercial outdoor uses:					
	Wrecking yards, junk yards	One for each two persons employed, one for each company vehicle	One for each 1,000 sq. ft. of gross use area for the first 10,000 sq. ft., one for each 3,000 sq. ft. of gross area exterior thereafter	Medium	Low
	Equipment rental	One for each two persons employed One for each company vehicle	One for each 400 sq. ft. of floor area and one for each 1,000 sq. ft. of exterior area for the first 10,000 sq. ft. and one for each 3,000 sq. ft. of exterior area thereafter	Medium	Low
	Public utility yards, substations, trucking yards	One for each two persons employed, one for each company vehicle	One for each 1,000 sq. ft. of gross use area for the first 10,000 sq. ft., one for each 3,000 sq. ft. of gross exterior area thereafter	Medium	Low
	Distribution stations, delivery yards	One for each person employed, One for each company vehicle			

L. Signs

1. **Multi-Tenant Freeway Signs:** A detached on-site sign directing attention to a business, commodity, service or entertainment conducted, sold or offered upon the same premises or within the same Planning Pod as those upon which the sign is located or within planning pods 13, 13A, 20, 22, 23, 24, 25, 26, 27, and 28 as provided below:
 - a. Must be within 250 feet of the freeway right-of-way;
 - b. Maximum Area: 660 square feet, not including “Sahuarita Town Center” Banner and Logo at top of sign, which must be provided;
 - c. Maximum height: 65 feet above the adjacent freeway grade;
 - d. Changeable copy including electronic messages that include LED copy and background that flash is prohibited;
 - e. Minimum clearance: None required;
 - f. Maximum number: A total of three (3), but no more than one (1) in pod 27, one (1) in pod 13 and one (1) in pod 28;
 - g. Maximum faces: Two (2);
 - h. Setbacks: Not restricted. May not encroach into site visibility triangles;
 - i. Shall be in general conformance with the attached Sahuarita Multi-Tenant Freeway Sign Conceptual Exhibit;
 - j. Any unused space shall be blanked out with an opaque material unless utilized by a business.

 2. **Directional Signs:** An on-site freestanding or wall-mounted sign that includes traffic information for drivers and pedestrians for one or more businesses. The following regulations apply:
 - a. Sign shall be limited to the business name, logo, directional arrow and other copy necessary to provide direction including but not limited to “enter,” “exit,” “employee parking,” “drive-through” or similar.
 - b. Maximum Area: 24 square feet total – 3 square feet each business, not including architectural embellishments – Each business shall be limited to a maximum of 3 square feet.
 - c. Maximum sign height: 10 feet. Architectural embellishments may not exceed an additional 3 feet of height.
 - d. Minimum clearance: None required;
 - e. Maximum number: Not restricted, subject to approval within a Comprehensive Sign Plan;
 - f. Maximum faces: Four (4);
 - g. Setbacks: Not restricted. May not encroach into site visibility triangles.
 - h. Electronic messaging is prohibited;

 3. **Directory Signs:** An on-site sign listing only the names and locations of the businesses or activities within a building or a multi-tenant development. The following regulations apply:
-

- a. Maximum Area: 80 square feet, not including Sahuarita Town Center Banner and Logo;
 - b. Maximum height: 14 feet with architectural embellishments included;
 - c. Minimum clearance: None required;
 - d. Maximum faces: Four (4);
 - e. Setbacks: Not restricted. May not encroach into site visibility triangles.
 - f. Electronic messaging is prohibited.
4. Freestanding Identification Signs: A detached on-site sign that is not a billboard that includes as copy the use, name, logo or address of a building, development or business. The following regulations apply:
- a. Maximum Area: 75 square feet, not including architectural embellishments;
 - b. Maximum height: 12 feet;
 - c. Minimum clearance: None required.
 - d. May have changeable copy as a component for gasoline price signs, churches, private schools and government facilities;
 - e. Maximum number: Not restricted, subject to approval within a Comprehensive Sign Plan;
 - f. Maximum faces: Four (4);
 - g. Setbacks: Not restricted. May not encroach into site visibility triangles.
 - h. Additional provisions allowed in Section 18.79.110 of the Town Zoning Code that was in effect in December 1996.
5. Portal Sign I: A detached on-site sign that is not a billboard that includes as copy the use, name, logo, or address of a building, development or business. May also include the name of the street. The following regulations apply:
- a. Maximum Area 320 square feet, not including Sahuarita Town Center Banner and Logo;
 - b. Maximum height: 34 feet;
 - c. Minimum clearance: None required;
 - d. Locations: Allowed at the southeast and southwest corner of Sahuarita Road and La Canada Road and at the southeast and southwest corner of Sahuarita Road and Rancho Sahuarita Blvd. and near the southbound off ramp of I-19 in Pod 26 as provided in a Comprehensive Sign Plan;
 - e. Maximum faces: Four (4)
 - f. Setbacks: not restricted. May not encroach in site visibility triangles.
6. Portal Sign II: A detached on-site sign that is not a billboard that includes as copy the use, name, logo, or address of a building, development or business. May also include the name of the street. The following regulations apply:

- a. Maximum Area 160 square feet, not including Sahuarita Town Center Banner and Logo;
 - b. Maximum height: 28 feet;
 - c. Minimum clearance: None required;
 - d. Locations: Allowed at all primary access roads off Sahuarita Road as provided in a Comprehensive Sign Plan;
 - e. Maximum faces: Four (4)
 - f. Setbacks: not restricted. May not encroach in site visibility triangles.
7. Portal Sign III: A detached on-site sign that is not a billboard that includes as copy the use, name, logo, or address of a building, development or business. May also include the name of the street. The following regulations apply:
- a. Maximum Area 160 square feet, not including Sahuarita Town Center Banner and Logo;
 - b. Maximum height: 18 feet;
 - c. Minimum clearance: None required;
 - d. Maximum number: Not restricted, subject to approval within a Comprehensive Sign Plan;
 - e. Locations: Allowed at the secondary access roads and driveways off La Canada Road, Rancho Sahuarita Boulevard and other arterial roads within Rancho Sahuarita as provided in a Comprehensive Sign Plan;
 - f. Maximum faces: Four (4)
 - g. Setbacks: not restricted. May not encroach in site visibility triangles.
8. Main wall Identification signs: An on-site sign or signs that are the primary identification sign attached to a building or tenant space wall or other building surface. The following regulations shall replace Section 18.79.110.E.13.a of the applicable Town of Sahuarita Zoning Code adopted June 19, 1995 in its entirety.
- a. Maximum Area (Buildings or Tenants 80,001 square feet or greater): 2.0 square feet per linear foot of walls upon which signage is placed. (1,500 square feet aggregate maximum) or;
 - b. Maximum Area (Buildings or Tenants up to 80,000 square feet): 2.0 square feet per linear foot of walls upon which signage is placed (1,200 square feet aggregate maximum):
 - c. Aggregate maximum area shall be defined for this purpose as the total area of all Main Wall Identification signs and Incidental signs combined, per tenant.
 - d. Maximum height: May not project above the parapet of the building, letters may not exceed 72 inches in height for buildings 80,001 square feet or greater and 48 inches for buildings 80,000 square feet or less;
 - e. Maximum number: Three (3) per building tenant and no more than one (1) per tenant per building side, not including Incidental signs;

- f. Maximum faces: 3 (front, rear or side or any combination of the building);
 - g. Building features shall architecturally integrate the sign face whenever possible;
9. Subdivision Directional Sign: An on-site or off-site temporary sign directing homebuyers to a subdivision that currently has lots or units for sale. The following regulations apply:
- a. Maximum area: Six (6) square feet
 - b. Maximum height: Three (3) feet
 - c. Minimum clearance: None required
 - d. Maximum number: Five (5) per active model complex location within the Rancho Sahuarita community
 - e. Maximum faces: Two (2)
 - f. Setbacks: Not restricted. May not encroach in sight visibility triangles
 - g. Off-site signs may only be used to advertise an open house or open model which is being offered for sale, lease, or rent. The signs shall carry the name and phone number of the sign owner.
 - h. Such off-site signs may be located on private property within the written permission of the property owner, or in the public right-of-way subject to current Sahuarita zoning code requirements, including approval by the Town Engineer.
 - i. Shall be removed within 2 days after the advertised model complex no longer actively selling homes.
10. Community Event Sign: An on-site or off-site temporary 'A' frame or banner sign advertising a community event (defined as a civic event sponsored by a public or private agency, school, church, civic-fraternal organization, or similar noncommercial, not-for-profit organization). The following regulations apply:
- a. Maximum area: Sixty (60) square feet for on-site signs; Sixteen (16) square feet for off-site signs
 - b. Maximum height: Eight (8) feet for freestanding signs; Wall-mounted signs shall not extend above the roofline
 - c. Minimum clearance: None required
 - d. Maximum number: Eight (8) 'A' frames or banners per event
 - e. Maximum faces Two (2)
 - f. Setbacks: Not restricted. May not encroach in sight visibility triangles
 - g. May be placed in the public right-of-way subject to current Sahuarita Zoning Code requirements, including approval by the Town Engineer.
 - h. May be placed up to two (2) weeks prior to an event and shall be removed within twenty-four (24) hours following the event.
11. Model Home Flag: An individual flag attached to an individual freestanding pole that may be multi-colored and/or contain the corporate logo for a model home complex sales office. The following regulations apply:
- a. Maximum area: Fifteen (15) square feet

- b. Maximum height: Twenty (20) feet
 - c. Minimum clearance: Eight (8) feet
 - d. Maximum number: Six (6) poles/flags per model home complex
 - e. Minimum setback: Not restricted
 - f. Location: Model home flags shall be located on-site within the model home complex or at the subdivision sales office.
 - g. All flags and flag poles must be removed within seven (7) days after the closing of the sales office or model home office.
12. National franchised tenants, major tenants and tenants with registered trademarks are permitted to use their standard corporate sign package, logos and colors if approved in writing by the Master Developer and in compliance with applicable sign standards;
13. Sign Area Measurement: A sign with individual letters or symbols placed separately on a building wall, awning, or other structure without a background panel, is measured as the sum of smallest rectangular shape needed to enclose each letter individually.
14. On-Site Sign: A sign directing attention to a use, activity, facility, product, or service existing at the property or within the development complex where the sign is placed or within Planning pods 13, 13A, 20, 22, 23, 24, 25, 26, 27, 28 and 37 of the Rancho Sahuarita Specific Plan.
15. Comprehensive Sign Plan: The purpose of a Comprehensive Sign Plan is to provide for the establishment of signage criteria that are tailored to a specific development or location. The intent is to provide for flexible sign criteria that promote superior design through architectural integration of the site, buildings, and signs:
- a. A Comprehensive Sign Plan shall include the location, size, height, construction material, color, type of illumination, and orientation of proposed signs, on-site and off-site;
 - b. A Comprehensive Sign Plan does not grant approval for the individual signs regulated by the Comprehensive Sign Plan. Individual sign permits are required;
 - c. A Comprehensive Sign Plan shall be prepared by the Master Developer and submitted to the Planning & Zoning Department for review and approval prior to issuance of any individual sign permits for signage that is being requested under the Specific Plan Sign Standards with the exception of Multi Tenant Freeway Signs;
 - d. There shall be a fee of \$1,000.00 charged for review of a Comprehensive Sign Plan. Standard fees shall be charged for review of individual sign permits;

- e. Comprehensive Sign Plans shall be submitted for approval for each of the pods designated RC, TC, or PI, including Pods 13, 13a, 20, 22, 23, 24, 25, 26, 27, 28 and 37;
 - f. Comprehensive Sign Plans will include provisions to allow for the phasing of development, including signage, and will be updated from time to time to ensure compliance with the Specific Plan and the applicable Zoning Code;
 - g. The Planning and Zoning Director shall review and approve the appropriateness of individual tenant signage for each sign during the sign permit approval process;
 - h. Any decision made by the Town Planning & Zoning Director may be appealed to the Town Council as provided for in Section 6.2 of the Development Agreement and Section IV.C and VI.J of the Specific Plan.
16. Illumination:
- a. Signage may be illuminated per the Tucson/Pima County Outdoor Lighting Code, 1993 Edition with the following exceptions:
 - i. Illumination for all outdoor advertising signs, both externally-illuminated and internally-illuminated, shall be turned off at 11:00 p.m. or when the business activity ceases, whichever is later. The means of controlling the specific “off” curfew shall be by a 24 hour timing device that includes stand-by power to maintain the time and program for a minimum of 6 (six) hours:
 - ii. The advertising portion of the Multi Tenant Freeway Signs shall be internally illuminated with warm white fluorescent lamps and shall reduce the lighting source by 50 percent output between 11:00 PM and sunrise, as may be achieved by programmable electronic controls, timers, etc.
 - iii. Pod 37 shall be subject to the 2004 Outdoor Lighting Code.
 - b. The Sahuarita Town Center logo and banner included with any on-site signage shall not be subject to this curfew, however this portion of the sign can achieve a similar reduction of light output by using any color other than white;
 - c. Any externally illuminated signage fixtures shall not exceed 3,000 lumens per fixture.
 - d. Sign area measurement shall be calculated using an outline of the sign letters; however an illuminated sign panel shall be measured as the entire illuminated surface area.
 - e. May be a mixture of internally illuminated neon, incandescent, fluorescent or LED light sources, or externally illuminated top-mounted and shielded fixtures. These signs may be either pan channel letters,

- reverse halo-illuminated channel letters, flat cutout letters, painted on signs, or projecting signs;
- f. Fully shielded fixtures shall be used for all flag illumination in commercial areas.
 - g. Applicable outdoor lighting stipulations in addition to those included in the Tucson/Pima County Outdoor Lighting Code, 1993 Edition:
 - i. All low-pressure sodium fixtures will be full cut off fixtures;
 - ii. All commercial luminaires adjacent to residential properties shall have either internal or external house side shields.
 - iii. All commercial luminaires within 25 feet of residential properties shall be full cut off fixtures;
 - iv. Unshielded lighting will not exceed 25 percent of the total lighting budget or 9,000 lumens per acre, whichever is less.
 - v. The total lighting source output for unshielded lighting will be reduced by 50 percent between the hours of 11:00 PM and sunrise, as may be achieved by programmable electronic controls, timers, etc.
 - h. All outdoor lighting shall meet the minimum maintained luminance values as recommended by the Illuminating Engineering Society of North America (IESNA) Lighting Handbook and recommended practices.

V. DESIGN GUIDELINES

A. Introduction

Purpose: These design guidelines provide guidance to the Design Review Committee (DRC) for future development, without the regulatory force of development standards and regulations. The purpose is not a rigid interpretation and enforcement of these design guidelines, but rather to provide for creative flexibility by the designers while meeting the basic objectives.

These guidelines are designed as an information source for site development, landscape architectural, architectural and signage features that create the community image of Rancho Sahuarita. Adherence to these design guidelines will result in a high quality of appearance and land use compatibility. The guidelines are intended as implementation criteria for use by builders, planners, architects, landscape architects and civil engineers under the direction of the Master Developer and the Town of Sahuarita. They also provide a foundation for development of more formalized Covenants, Conditions, and Restrictions (CC&R's). The interpretation of these guidelines into CC&R's will guarantee quality design consistency throughout the community's life.

A design review committee will be formed by the Developer to review every development proposal in Rancho Sahuarita, and shall apply to all site built and site delivered structures. Membership shall include reasonable representation from Rancho Sahuarita residents. The review procedure will ensure that the high standards defined in this document are maintained in each phase of development. These design guidelines are conceptual in nature, allowing flexibility for change. Should the Design Review Committee determine changes are in the best overall interest of the Rancho Sahuarita community, they have the power and authority to revise these guidelines.

Design Concept: The theme of Rancho Sahuarita is a family oriented, Southwest Desert Community in the high southern Arizona desert. The images of such a community include strong unifying elements. Typical elements are as follows: roof color and materials; simple muted colors for walls; simple and uncluttered detailing; angled and varied building perspectives; and streets which are equally shared between pedestrian and vehicle. The design elements for Rancho Sahuarita that form this distinctive character are:

- Off-White, Muted Desert Tones or Soft Pastel Building Wall Colors
- Smooth or Sand Finish Stucco
- Appearance of "Thick" Walls
- Courtyards, Intimate Spaces
- Small Details
- Offset Wall Planes
- Fountains and other Unique Details

- Building Masses with One and Two Story Architecture

The elements to avoid or minimize are:

- Simple, Box Like Architecture without Articulation
- "Woodsy" or Rustic Architecture
- Wood Siding
- Gambrel or High Pitched Roofs

B. Design Review

Design Review Committee: The Master Developer will establish a Design Review Committee (DRC) before any building development begins. The DRC functions will be to refine these guidelines, establish review procedures and administer the design review process for Rancho Sahuarita. It shall consist of 3 regular members and one alternate member. The Committee may consist of representatives from land owners, home builders, homeowners association, architects, and land planner/landscape architect consultants. The DRC has the authority to interpret the Guidelines in the event the Guidelines may not be explicit in a particular situation. The Committee may also amend the Guidelines by a 2/3 majority vote.

Design Review Procedures: Establishment of review procedures will be based on the following guidelines:

- Pre-design meeting with the builder, owner and/or architect to offer direction in preparing preliminary plans.
- Review of preliminary plan submittal to determine general conformance with these guidelines.
- Review fees (if any) may be established by the DRC.
- Following preliminary approval, a review of the final submittal, containing information detailed enough to allow the DRC to determine compliance with these guidelines.
- The right to inspect all work in progress and give notice of non-compliance shall be reserved by the DRC.
- The right of final approval for all completed construction to assure consistency with these guidelines.

Geographic Review Zones: For the purpose of design review, Rancho Sahuarita is divided into four project review zones. The level of design review and areas of concern vary depending upon location. These areas are illustrated on the Geographic Review Zone Map (See Exhibit V-B.1). The major review areas will be:

Zone 1 - Theme Area: This project area will be reviewed extensively because of the project's prominent location in the community. Specifically, the Master Developer will be reviewing the following areas:

- The perimeter edge treatments of the Town Center and Commercial areas as they relate to landscaping, fencing, architecture, and building placement;
- Front and rear privacy walls that conform to the architecture;
- The use of details fountains and hardscaping in recreational areas;
- Off-site views of the project and all structures from adjacent major streets.

Zone 2 - Elevation Enhancement Area: This Zone is visible from the major arterial streets. Typically, major areas of review are edge conditions:

- One story or low profile roofs that slope away from the corner lot;
- Rear and side yard fencing or wall details;
- Two story building locations;
- Architectural elevations of rear and side of homes;
- Landscaping and entry monumentation.

Zone 3 - Streetscape Identity Area: The purpose of this zone is to ensure a common landscape design treatment along the major roadways throughout the Rancho Sahuarita project. These major roadway design elements will create a consistent theme linkage between each project that helps create the Desert Village environment. The review areas include the following:

- Entry Statements and monumentation at primary and secondary entries;
- Streetscape treatment;
- Signing, temporary and permanent;
- Walls and fencing;
- Slope planting and common space elements.

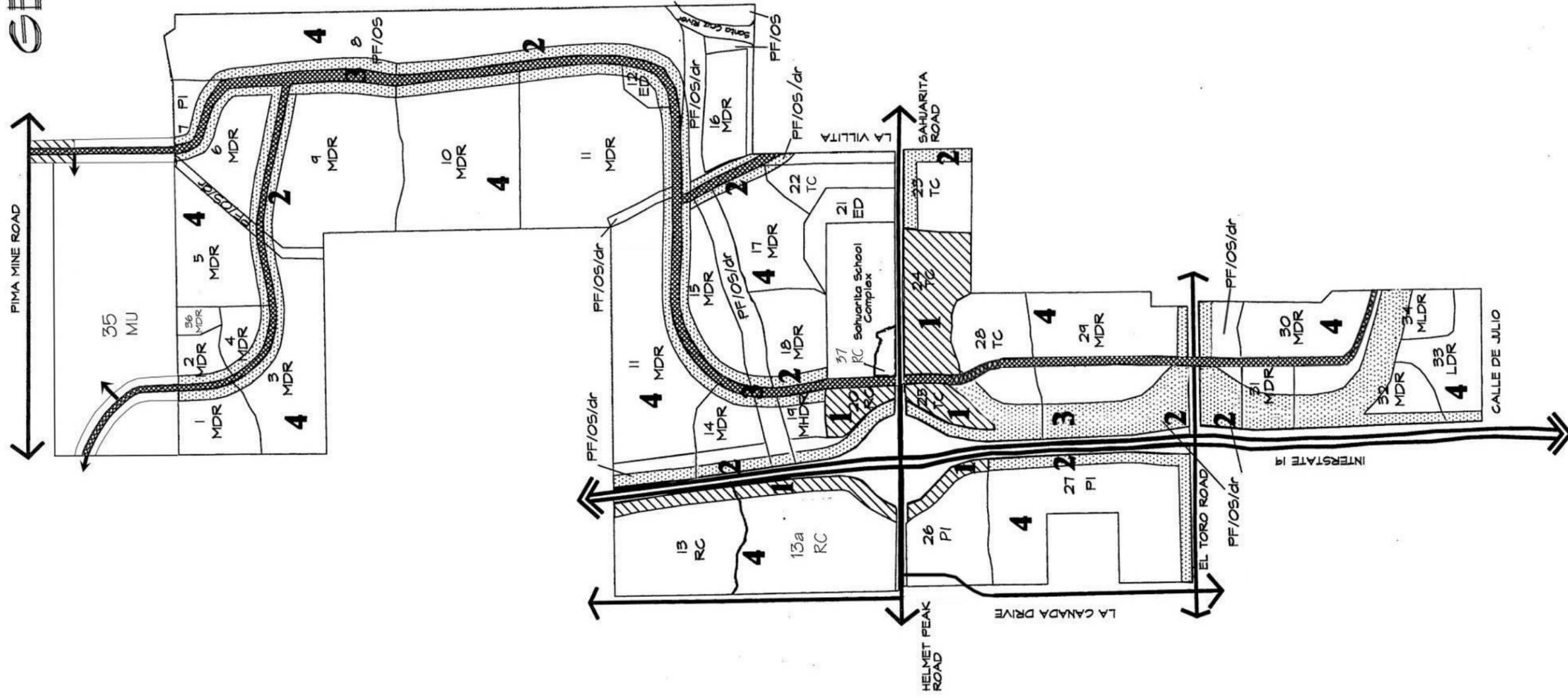
Zone 4 - Minimal Review Area: These areas are the least visually prominent areas in Rancho Sahuarita. This level of review by the Master Developer will be the least stringent. The major areas of review will be:

- Overall conformance and compatibility with the design guidelines;
- Compatibility with adjacent projects;
- Plotting of homes should avoid repetitive roof planes when identical floor plans are frequently used;
- Corner lots at collector streets will be reviewed with the same level of review as zone 2.

GEOGRAPHIC REVIEW ZONE MAP

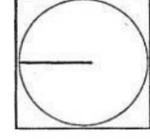
LEGEND

	1	Theme Area
	2	Elevation Enhancement Area
	3	Streetscape Identity Area
	4	Minimal Review Area



Rev. 11/02; 10/03; 4/06;
4/09, 7/14; 1/16; 7/18

EXHIBIT V-B.1
GEOGRAPHIC REVIEW
ZONE MAP



THE
PLANNING
CENTER
110 S. CHURCH AVE., SUITE 6320
TUCSON, AZ 85701 (520) 623-6146

RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

SCALE



C. Site Planning

GENERAL CRITERIA

Purpose and Concept: Rancho Sahuarita will be developed as a Desert Community incorporating different product types and different site uses. The placement of buildings, roads, and utilities will have a major influence over the character of Rancho Sahuarita. This requires an understanding of existing site opportunities and constraints. Issues of building form, orientation, coverage, setbacks, parking, utilities, loading docks, storage areas, and access are involved.

Density flexibility for residential land use pods shall be encouraged as an incentive to promote quality design that fosters a sense of community by integrating recreational features and open space. The density flexibility option shall be exercised on a pod by pod basis to assure the best use of terrain, views, and other site elements.

Open space features will serve to provide an improved sense of neighborhood identity and cohesiveness. Additionally, this will provide a natural visual interruption of the built environment, enhancing its aesthetic quality from both on and off site.

TOWN CENTER AND COMMERCIAL DESIGN CRITERIA

Product Image: The town center should be placed in a highly visible location and reflect the image of the entire Rancho Sahuarita development. With this building is a vertical design element, such as a tower. The southwestern desert planting design should be strongly expressed in concert with this feature

Retail and office structures are intended to be complimentary to the town center development. A sense of excitement should be reflected and created by the use of high quality materials reflecting the southwestern desert theme. Commercial structures should be a mix of one, two and other multi-story construction. In addition, a pedestrian circulation network of public sidewalks and major theme intersections is encouraged.

Priority Elevations: The town center and commercial buildings will be seen from most angles and will require a continuity of colors, materials, and details on all elevations. The incorporation of similar character stucco walls, roof styles and other components is encouraged.

Parking Areas: Parking areas are recommended to be located along internal street frontages for ease of access and to create a sense of expanded streetscape by combining street and perimeter parking landscaping. Views of the parking areas should be filtered from traffic by

landscaping within the required setback. Screening should be achieved by massing of trees and shrubs or by using berms of sufficient height.

Parking access from major streets should be minimized. Entries should be located as far as possible from street intersections. Retail complex entries can be clearly delineated through the use of plant massing, repetition of elements of a theme, and patterned concrete or pavers to differentiate them from sidewalks.

Service Areas: To the extent practical, service areas should be concealed from view behind buildings or through the use of landscaping or screening walls in keeping with the Desert Community theme of Rancho Sahuarita.

Utilities: To the extent practical, all new utility lines shall be underground. If existing utility lines need to be upgraded or moved, they shall be re-installed underground if economically feasible.

GOLF COURSE AND OPEN SPACE/DRAINAGEWAYS CRITERIA

Product Image: Golf course(s) within Rancho Sahuarita should be designed with a natural vegetative character. Open Space/Drainageways will include a plant material buffer.

Parking and Service Areas: Golf course parking and service area regulations shall be the same as identified for the town center and commercial structures.

RESIDENTIAL DESIGN CRITERIA

Product Image: Homes will promote the southwestern architectural image of the Rancho Sahuarita Specific Plan. Careful attention shall be given to the building massing, scale, and form and their relation to public areas.

Priority Elevations: The homes will present a continuity of colors, materials and details on elevations. Priority in articulation should be given to those sides visible from streets and open spaces. The builder will submit streetscene elevations of the differences and variety of building types and elevations to the DRC.

Building Setbacks and Orientation: The design of residential developments can be unique and provide varied streetscape appearances. Providing plans with differing setbacks fosters a variety of elevations.

Projects should be planned carefully to maximize the feeling of open space within the development. Design approaches include curving streets, orienting the road axis to open areas and the creation of views.

Garages: Front entry garages are allowed if the garage is set back a minimum of 20 feet from the front property line. Side entry garages should be set back a minimum of 8 feet. Deeper setbacks are encouraged. The primary garage facade facing the street on side entry garages must be articulated with window openings, shadow relief, etc. Garages should have a single story mass at the front of the building to provide an architectural transition to two story massings. Side-entry garages are encouraged to break up the monotony of all garage doors being parallel to the street.

Front Privacy Walls: Front privacy walls finished to match the buildings are encouraged. Tiles, ceramic tile details, repetition of the cornice band detail and use of accent trim color bands are also encouraged.

Rear Elevations: Rear facades which can be seen from open community areas will have "front elevation" quality. Houses on corner lots should be joined by a side yard wall of uniform design and color as the main residence. The wall should comprise a coordinated architectural connection with the house when visible from streets or open spaces.

MANUFACTURED AND MOBILE HOME DESIGN CRITERIA

Mobile home parks will promote the southwestern architectural image of the Rancho Sahuarita Plan. In addition to the residential design criteria outlined above, mobile homes will be required to have skirting installed in colors complimentary to the main structure. Finished floors may not be greater than 1 foot above the average finished grade as measured 5 feet out from the building footprint. Carports constructed of materials and architecture similar to the primary structure will be permitted. No chain link fencing will be allowed in mobile home subdivisions.

STREET DESIGN CRITERIA

Street Standards: A comprehensive circulation system provides the framework for the Rancho Sahuarita community structure. Major goals include:

- Ease of movement between neighborhoods, varying land uses, and surrounding areas
- Maintenance of a circulation system, based on clearly differentiated major and residential collectors, according to traffic needs.
- Access drives for public use areas shall be coordinated to promote the efficient flow of traffic. Opposing intersections should be spaced a minimum of one hundred and fifty (150) feet apart to minimize left turn conflicts.
- Enhance transportation routes through a comprehensive landscape treatment.
- Planned neighborhood street systems to serve local traffic demands, discouraging non-neighborhood traffic.

D. Architectural Guidelines

Character/Design Details: The architectural character of Rancho Sahuarita is reminiscent of the styles and feeling of the Sonoran Desert. It is the intent of the Master Developer to encourage variety and individuality within a framework of Desert Community styles.

Southwestern architectural styles, reflective of historic settlements in the area, or other compatible styles approved by the Master Developer or the Design Review Committee are strongly recommended for all site-built structures within Rancho Sahuarita.

The following suggested style vocabularies for site-built structures within Rancho Sahuarita, are derived from the design heritage of Tucson, Southern Arizona, and the Sonoran Desert:

- A. Mediterranean
- B. Spanish Colonial
- C. Territorial
- D. Pueblo
- E. Southwest Traditional

The recommended styles have many similarities of scale, proportion, massing and color that are uniquely appropriate to the southwest. Each of the styles has a common bond of detailing and plan form that is related to the environmental design requirements of the region.

Each of the styles is rarely found in its pure form. Cultural blending, environmental responses, and the availability of building materials have produced a unique regional character. Contemporary interpretations can

be successful if the traditions of scale, proportion and materials are blended with honest concern for climate control.

Where permitted, all manufactured homes and/or mobile homes developments will be reviewed on a case-by-case basis by the DRC. Prior to the approval of any plat or development plan, the manufactured home/mobile home housing developer must arrange a meeting with the DRC to discuss the required amenities and design features to assure compliance with the intent of the design guidelines.

Materials: Stucco will be the primary wall surface material utilized throughout Rancho Sahuarita for site built structures. A smooth, sand or lace finish stucco finish look is typical. Accent materials and colors used to compliment the stucco are encouraged in moderation. The uses of tile, wood or brick are permitted as design accents only.

- Recommended primary building materials include:
Concrete or Adobe Block;
Cement Stucco over Concrete Block or Wood Frame;
Slump Block (mortar wash only);
Natural Stone.
- Recommended accent building materials include:
Adobe & Fired Adobe Brick;
Mud Stucco over Stabilized Adobe Block;
Split Face Concrete Block;
Brick and Mortar Washed Brick.
- All exposed building materials must be finished.
- All exposed wood shall be treated with a preservative, stained or painted.
- The use of wood by-products or simulated wood siding materials is prohibited.
- No reflective building materials shall be used.

Color Palette: Color is intended to act as a primary theme conveying element. In general, wall colors should be predominantly off white, muted earth tones or light pastels with contrasting accents. The Master Developer will provide a list of recommended colors. Buildings are encouraged to have several colors; one base color with accent colors. The accent colors would typically be used on the cornice bands and window articulation.

Roofs and Pitches: Roof styles are to be indigenous to the selected architectural style. Actual colors will be subject to the Master Developer review. Roof slopes should harmonize the building mass with its plan.

The slope of all pitched roofs shall be no flatter than 3:12 ratio. Simple short roof overhangs are appropriate for Spanish Colonial, Southwest Traditional, and Mediterranean styles. Flat roofs with parapets are suitable for Territorial and Pueblo styles.

Windows: The proportion of windows to exterior surface will be carefully considered by the Design Review Committee for each elevation. Window design should be appropriate for the chosen architectural style. Windows are typically rectangular, round or arched headed openings. Recessed windows are an important characteristic of Spanish Colonial, Mediterranean and Pueblo styles. Projecting windows may be used to add articulation to wall surfaces. Territorial and Southwest Traditional style windows are set flush with the wall surface. Silver, gold, or mill finish window frames are prohibited.

Doors: Doors, like windows in Southwestern architecture, are typically rectangular or round headed. Doors should relate to the selected architectural style. The doorway should be fully recessed in order to convey the appearance of thick, protective exterior walls in Spanish Colonial, Mediterranean and Pueblo styles. In Territorial and Southwest Traditional architectural styles, doors are set flush with the wall surface. Southwestern doors are traditionally wood with a "heavy" look as well as being detailed.

Garage Doors: The design of the garage doors should relate to the main building architectural style. Colors should be selected from the approved color palette. The design treatments include color accents and architectural features such as pediments, molding, small roofs, overhangs, and furr-outs to recess the garage door.

Columns and Archways: When used, stucco columns should be square, rectangular or round, and appear massive in thickness. Capitals and column bands are encouraged. At the bottom of the column, a base should be incorporated into all columns. The column height should be 4-5 times the width of the column.

The use of arches is appropriate for select southwestern architectural styles. Arches may have variations such as semi-circular, parabolic, or flat, and shall be in regular series with columns as supports or walls. Covered walks, patios and colonnades should be enriched by having textured paving.

Chimneys: Chimneys should continue the same texture and materials of the building. The chimney caps should repeat the fascia cornice band or other treatment which integrate the trim colors. Caps are encouraged

along with accents. Decorative metal caps that match the trim colors are permitted.

Gutter and Downspouts: Exposed gutters will be colored to match the roof or wall material. Exposed downspouts will be colored to match the surfaces to which they are attached.

Skylights: Skylights are to be designed as an integral part of the roof. Skylight glazing shall be clear or solar bronze. White glazing is prohibited. Skylight framing materials must be colored to match or blend with the roof.

Mailboxes: Mailboxes should be coordinated within each individual development area. Their color and materials should be coordinated with the structure(s) it serves. Other standards for mailboxes will be reviewed by the Master Developer.

Exterior Lighting: All exterior building lighting will be a consistent southwestern desert theme and meet the *Pima County Outdoor Lighting Code requirements*. (See Appendix I: National Optical Astronomy Observatories Letter). Energy conserving lamps are encouraged.

Solar Panels: Solar panels are discouraged but will be reviewed by the Master Developer.

Awnings: Fabric awnings are permitted in moderation. Metal awnings will be reviewed by the Master Developer.

Mechanical Equipment: All air conditioning/heating equipment, soft water tanks, electric self-timer boxes for sprinklers or exterior lighting will be screened.

Security Gates and Gate Arms: Security gates and gate arms will be subject to review by the Master Developer. Approval by the appropriate jurisdictional fire department is also required.

E. Landscape

Purpose and Concept: The purpose of establishing Landscape Architectural Design Guidelines is to provide a reference for planning and designing of development. The intent of these guidelines is not to require rigid adherence to a particular landscape style or to limit the range of materials or colors. More correctly, the guidelines should be used to achieve continuity and a standard of quality throughout the larger visual context.

A landscape planting theme will be established creating a community framework for all common and public areas. Consistent landscape planting will be encouraged to use native southwestern plants and other drought tolerant species (See Appendix H - Recommended Plant Palette). This landscape structure will provide each development area with a separate identity, as well as act to link the various areas together in a cohesive community. Landscaping should be in compliance with the Town of Sahuarita landscape ordinance.

Streetscape Concept: The streetscape is among the most prominent landscape elements within the project. The intent is to provide unity and variety while drawing upon the natural desert and riparian heritage of the property. There are two levels of streetscape treatment in Rancho Sahuarita.

Primary Corridors: The primary corridors through the project set the overall community theme. Thematic plantings and treatments will be consistent along these corridors. Design review for these areas will be consistent with the Geographic Review Zone 3 found in this section. Recommended plant materials are listed in Appendix H - Zones #1.

Interior Project Streets: Individual neighborhoods may feature landscaping or street tree themes to create neighborhood identity. Plants are to be selected from the Appendix H - Zone #2 plant palette with each development choosing one street tree.

Entries: Rancho Sahuarita contains a series of entry features with an integrated design of landscape, hardscape, monumentation and signage. Entry features aid in defining the community's character and presents an introduction to the development.

Each parcel may have a unique entry feature to provide individual identity to the development. Entry features may include a combination of some of the following elements: entrance paving (such as bomanite), fountains, distinctive landscape treatment, planters, special wall treatment, etc.

Geographic Review Zone 2 and Landscape Zone #1 plant palette applies to all entries.

The Primary Project Entry Statements serve as a gateway to the project. The statement, seen from a distance, provides the backdrop for the project name and logo. It signifies arrival and establishes the theme of the development. Primary entry statements occur along Helmet Peak/Sahuarita Road.

The Secondary Entry Statements are to identify the arrival into the individual villages within Rancho Sahuarita. The design of these statements shall be similar to the Primary Statements but smaller in scale. The Secondary Statements will be along the main collector roads.

Project Edges: The project edges are an important landscape element within the project. The boundary of the project should not be an abrupt edge but should be a gradual transition to the adjoining landscape. The intent is to provide unity and variety while drawing upon the natural desert and riparian heritage of the property.

Where Rancho Sahuarita adjoins an off-site roadway, treatment may be required to screen residents from traffic. The use of dense plantings of native evergreens and shrubs will be used for sound attenuation and visual screening. A fence or wall screened on both sides by native plant material may be used in combination as well. Plants for project edges should be selected from Zone #1 plant palette found in Appendix H.

The edge of the property adjoining undeveloped desert or the Santa Cruz River should have a treatment area to create a transition to a more natural state. Informal planting groupings are encouraged. Walls to a maximum of 6' in height are allowed along the desert edge, but no wall or fencing is allowed along the river edge.

Rancho Sahuarita property adjoining residential or school areas will require a landscape treatment to preserve the privacy of Rancho Sahuarita residents. In these areas visual screening and noise buffering are suggested. Dense hedges or walls are permitted.

Hardscape Design Elements: Hardscape design elements serve aesthetic as well as functional uses. Elements such as paving, mailboxes, benches, bus shelters, and trash receptacles create opportunities to reinforce the design theme of Rancho Sahuarita.

The following are characteristics to be used in evaluating all hardscape items:

- Security, safety, comfort, and convenience of the user, including the disabled.
- Simple in function and design.
- Compatible in form, color and scale with surroundings and other street furniture.
- Furniture should be placed to minimize safety, policing and security hazards.
- Cost effective.
- Street furniture should be incorporated in park or landscape spaces and off street amenity areas to the greatest extent possible.

Drainageways & Retention/Detention Basins: Drainageways, effluent reuse and retention/detention basins form the major open space within the wildlife corridor. It is important for drainageways to remain as contiguous as possible so that they can function effectively as drainageways and wildlife corridors. In addition, the open space provides visual relief along vehicular routes and creates and enhances the value of adjacent residential neighborhoods.

Hydrological site elements can have multi-purpose uses, such as areas for golf, drainage, open space, recreational trails, and buffers between different land uses. Contiguous wash systems can provide linkages between larger open space areas and housing uses.

Drainageway revegetation treatments shall be used wherever possible. Stabilization of washes shall be used when the hydrology of the situation demands it. Native river rock should be used along the wash slopes to further stabilize slopes when required. Altered wash slopes and retention/detention basins shall be planted with hydroseed or bankcovers and shrubs to prevent excessive erosion and create a more natural appearance.

Revegetation and Erosion: Graded areas subject to substantial erosion shall be revegetated, prior to seasonal rains, for erosion control. Revegetation shall be with native plant materials and/or a native seed mix (See Appendix H: Recommended Plant Palette List).

F. Signage

Purpose and Concept: A quality signing program will be developed and administered by the Master Developer to inform and direct the prospective buyer. Both monuments and signs will reflect the Desert theme. In addition to the Rancho Sahuarita Specific Plan, or the Town of Sahuarita requirements that apply to signage, the Master Developer will review and apply further conditions as outlined below.

Major Monumentation: Two areas along Sahuarita Road are designated as the primary entries and identification points for Rancho Sahuarita. These entry intersections will depict the style of Rancho Sahuarita. Towers, theme walls, the use of theme landscaping and flowering plant material with splashes of color will portray the desert flavor of Rancho Sahuarita.

Minor Monumentation: Smaller scale entry monuments will identify secondary entries within the residential communities. The secondary entry monuments will incorporate elements of plant massing chosen from the southwestern desert theme planting list and provide direction to the major project entries.

Neighborhood Monumentation: These smaller scale entry monuments may be incorporated into each neighborhood by the project builder. Design of this level of entry should be consistent with the materials of Rancho Sahuarita. Entry designs may be reviewed by the Master Developer. Signing will reflect the character of each neighborhood while conforming with the overall Rancho Sahuarita southwestern desert theme.

Street Signs: Street signs installed by the Master Developer will be the standard signs approved by the Town of Sahuarita or a custom-designed sign.

Commercial Signage: Signs for any given development parcel must be developed along these guidelines and submitted to the Master Developer for approval prior to submittal to the Town of Sahuarita for any sign permits. The Master Developer is responsible for final interpretation of the guidelines and may, at its discretion, modify them to accommodate any unforeseen circumstances. The Town of Sahuarita sign code shall govern signs in instances when the Specific Plan is silent.

Pole signs shall be prohibited within the specific plan area except for parcels with freeway frontage. The maximum height for pole mounted signs along the freeway shall be 15' above the grade of the adjacent freeway pavement. A maximum of four freeway identification billboard signs may be located on Rancho Sahuarita property, two at the north end and two at the south end of the project, with a maximum of size of 240 square feet. No other billboards shall be permitted.

Table V.F.1 and Table V.F.2 identify the permitted signs by type, function, and quantity. Sign dimensions will be per the Town of Sahuarita Sign Code unless otherwise specified by the Rancho Sahuarita Specific Plan. Table I identifies the permanent signs, and Table II identifies temporary signs.

Table V.F.1

Permanent Signage

Primary Community Entrance	Displays Community Name and defines the primary entry to Rancho Sahuarita	Two (2) per entry; one (1) on each side of the street
Secondary Community Entry	Displays Community Name and defines the secondary and tertiary entry to Rancho Sahuarita	One (1) on both sides of the street
Neighborhood Entry	Displays Neighborhood Name and defines the neighborhood entry	One (1) on both sides of the entry
Amenity Identification	Displays amenity name (i.e., parks, trails, clubhouse etc.)	No minimum
Street Identification	Displays street names, traffic control etc.	As needed
Commercial Center	Displays Commercial Retail Centers	1 per shopping center
Freeway Identity*	Displays project identification	4 total; 2 at each end of project along I-19

* maximum height for pole mounted signs along the freeway should be 15' above the grade of the adjacent freeway pavement.

Table V.F.2
Temporary Signage

Sign Type	Function	Quantity
Community Marketing	Identifies the boundary of Rancho Sahuarita	One (1) at the Primary entry to Rancho Sahuarita
Neighborhood Marketing	Identifies the boundary of the individual neighborhoods and provides product information	One (1) at each neighborhood entry
Parcel Marketing	Identifies the individual parcels available and the permitted use(s) i.e., commercial pad, apartment site etc.	One (1) per street front
Public Facility or Amenity Information	Identifies a parcel dedicated to a public school, church etc.	One (1) per street front
Vehicular Directional	Lists on-site neighborhood sales offices incorporates directional arrows.	As needed
'A' Frame Subdivision Directional Signs	Directs homebuyers to a subdivision that currently has lots or units for sale.	Up to five (5) signs per active model complex location within the community
Community Event Signs	An 'A' Frame or banner sign advertising a community event sponsored or administered by the Master Development or the Community Association.	Up to eight (8) 'A' frames or banners per event
Model Home Flags	Identify model home sales offices. May be multi-colored and/or contain the corporate logo for a model home sales office.	Up to six (6) per model home complex.

VI. SPECIFIC PLAN IMPLEMENTATION

A. Purpose

The regulations and guidance contained within the Specific Plan prescribe the implementation of development. Procedures for the administration of Specific Plan provisions are contained in this section, including the Phasing Plan for the development of the proposed planning areas. These planning areas define the type, location, intensity, and timing of development. Programs for the projected sequence of development are also included. In order to track the progress of Specific Plan development, associated improvements and budgetary needs, a fully developed monitoring program is provided. This chapter also provides information regarding general administration, subdivision, amendment procedures, and the linkage between these elements.

The Rancho Sahuarita Specific Plan will be implemented through the subdivision process. The subdivision process will allow for the creation of lots as tentative plat maps which will allow for implementation of the project phasing. The Rancho Sahuarita Specific Plan, and other official Town of Sahuarita ordinance, policies, maps and regulations will guide the platting.

B. Definitions

Three entities must be identified in order to assign responsibility for implementation of the improvements for Rancho Sahuarita. These entities are the Master Developer, the District and the builder.

The Master Developer and the District are the entities responsible for insuring that the basic infrastructure facilities are planned and constructed to serve the development areas within the Rancho Sahuarita Specific Plan. Fidelity Title Trust #10728 currently owns and manages the Specific Plan property and has responsibility as Master Developer (per the definition in section IV).

The builder is the purchaser of a development area, or portions of a development area, who will either build or provide for buildings within their areas of leasehold interest or ownership.

C. Phasing Plan

In order to allow an adequate level of infrastructure to be built to accommodate new development, it is recommended Rancho Sahuarita Specific Plan be developed in three phases (see Exhibit VI-D.1: Phasing Plan). Market considerations have been considered in order to stagger the introduction of commercial and a variety of residential units onto the housing market. The recommended Phasing may change in the future depending on the marketability of the land and the ability of the Master Developer to sell the property.

The primary intention of the phasing plan is to relate land uses to infrastructure requirements of the proposed development. The phasing plan implies a building sequence, but there is nothing in this plan to preclude a different order of development, or a different combination of sub-phases, as long as the related infrastructure is adequately in place. This flexibility is insured by the Specific Plan due to the fact that the actual sequence of development may be affected by external factors which are not controlled by the Master Developer, District or builder.

Four assumptions have guided the preparation of the recommended phasing plan for this development. These assumptions are:

1. The rate of growth for the Rancho Sahuarita project will remain consistent and as calculated;
2. The rate of growth of other regional projects, which were used in assessing cumulative impacts and phased infrastructure and services, will remain consistent and as calculated;
3. The market need for the proposed residential product type and mix will remain the same throughout the phasing period;
4. The property will be sold to builders to implement the phased development.

If any of these assumptions change during the project build-out horizon, the Phasing Plan and Town of Sahuarita monitoring program will be flexible enough to make adjustments. Adjustments will be made at the staff level. This flexibility will be especially important in relation to infrastructure and service requirements.

Dedications and easements will be granted at the time individual subdivision plats are approved.

These assumptions are necessary to establish a phasing plan for the proposed development scenario. However, if any of these assumptions change during the project build-out time, the Phasing Plan and monitoring program must be flexible

enough to make adjustments in corresponding infrastructure and service requirements. These adjustments to the phasing plan and monitoring program will be made at the staff level. If the build-out rate accelerates, for example, key infrastructure improvements may have to occur earlier than shown on the Phasing Plan. Likewise, if projected build-out occurs at a slower rate, certain improvements to infrastructure may not be required until a later phase than what is shown on the Phasing Plan.

The first phase provides the initial backbone of the project. It is during this phase that a significant level of infrastructure for the project will be completed. The first phase will be developed in subphases as market conditions dictate.

Phase one will include the initial wastewater treatment facility and residential areas north of the existing school complex. It will also include the areas designated for the town center and regional commercial areas on both sides of I-19. The second phase includes additional residential areas north of Phase I and south of the Town Center. The third and last phase will include the remainder of the property.

D. General Implementation Responsibilities

Implementation of the Rancho Sahuarita Specific Plan shall be the responsibility of the Master Developer and builders, except as noted. These entities shall be responsible for the engineering and implementation of the spine infrastructure systems at the time of development. The spine infrastructure systems are defined as those systems which are necessary to provide development opportunities to the individual planning areas. These systems include access roads, residential collectors and associated streetscapes, trunk sewers, water mains, electric lines, gas lines and cable television facilities in the major streets. Once these spine infrastructure systems are put into place, the builder is responsible for implementation of facilities within each of the planning areas, as well as ancillary facilities within the spine infrastructure system that would be damaged or destroyed by secondary development if installed by the Master Developer or District.

A master block plat will be filed for each phase of the project in accordance with the currently adopted development standards of the Town of Sahuarita. Individual subdivision plats and development plans will be filed for each project in conformance with those block plats. Master assurances shall be prepared prior to construction permits via third party trust agreements.

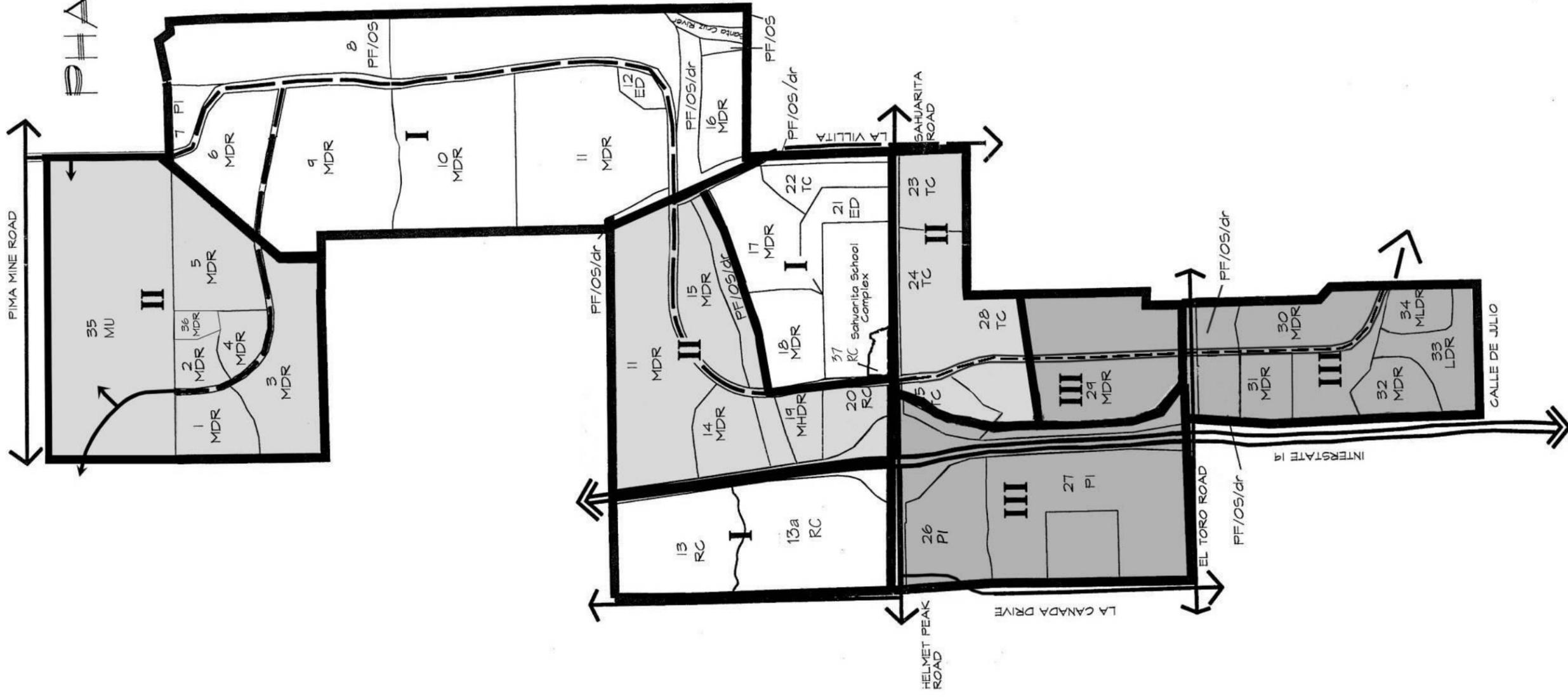
A master block plat for phase I of the specific plan area shall be prepared and approved within three years from the date of approval of the specific plan and prior to the issuance of permits for any development activity within the specific

plan. Development outside phase I shall require additional block platting for subsequent phases.

Approval of a subdivision plat, development plan or building permit is subject, among other conditions, to the following requirements:

1. Conformance with the Rancho Sahuarita Specific Plan as adopted;
2. Provision of development-related assurances as required by the applicable agencies;
3. Dedication of appropriate rights-of-way for roads, utilities and drainage by plat, or by separate instrument if the property is not to be subdivided.
4. Individual CC&R's for each single family detached residential subdivision shall be recorded which provide for 'on-lot,' residential front yard, landscaping standards. This requirement shall apply to all subdivisions where lots are developed by mass grading and/or where front yards have been substantially grubbed for development purposes.

PHASING PLAN



LEGEND

- Phase I I
- Phase II II
- Phase III III

EXHIBIT VI-D.I
PHASING PLAN



RANCHO SAHUARITA

S A H U A R I T A, A R I Z O N A

SCALE



Rev. 11/02; 10/03; 4/06;
4/09; 7/14; 1/16; 7/18

E. Roadway (Arterial Streets) Phasing Plan

Based on the recommended Land Use Phasing Plan, the circulation system will be implemented in phases as development occurs. The required major street improvements as shown on the Specific Plan Circulation Map will be provided by the Master Developer in phases and built to Town of Sahuarita standards.

F. Public Facilities Phasing

Sewer System Implementation: The Rancho Sahuarita project will include installation of significant sewage infrastructure, treatment facilities, and effluent reuse or recharge systems. Each phase or portion of the project will include design and installation of its own sewage collection system. Each substituent collection system will then be connected to laterals and mains which will be installed as part to a new treatment facility to serve Rancho Sahuarita.

Various alternatives for sewage treatment have been analyzed in the Sahuarita MSSA report and Rancho Sahuarita 208 Amendment currently being prepared. The various alternatives evaluated include: 1) Gravity main collection and pumping to the Green Valley Wastewater Treatment Facility (GVWWTF); 2) installation of gravity mains and laterals to the Tucson area, and; 3) installation of a new wastewater treatment facility. This last alternative is the preferred option. The developer of Rancho Sahuarita will define land for such a facility and cooperate with the financing of the land, treatment facility, and its associated mains and laterals. Financing may take the form of a CFD or MID.

Based on anticipated population build-out of Rancho Sahuarita, and the surrounding Town of Sahuarita area which will be served by the MSSA, an ultimate treatment facility capable of processing the sewerage generated by Rancho Sahuarita is preferred. However, the rate of development, and phasing of build-out has a direct affect on the economic viability and feasibility of various technologies and capacities which can be provided. As such, the town (Pima County, if applicable) and the developer will cooperate on a phased approach of constructing the plant in the most cost effective means possible.

Creation of the Sahuarita MSSA Sewage Treatment Facility will present a unique opportunity for recharge and/or reuse of effluent close to the source of generation. Potable waters which are created or derived from other sources and used within the Rancho Sahuarita Specific Plan can be reclaimed in the sewage treatment facility, and the effluent reused or recharged throughout the project.

Water Distribution System: The Rancho Sahuarita planning area encompasses approximately 3,084 acres of proposed mixed-use development. Currently, potable water found near the planning area includes water used for Sahuarita

School District Complex, located on the north side of Sahuarita Road, about 2,000 feet east of the Sahuarita Road and Interstate 19 interchange, Las Quintas Water Company, and FICO.

The owners of Rancho Sahuarita have incorporated the Interchange Water Company (IWC), which has obtained a Certificate of Convenience and Necessity from the Arizona Corporation Commission. The proposed water utility service area is the same as Rancho Sahuarita.

The Development will be served by multiple wells, surface storage tanks, and booster systems. The distribution will consist of main lines of sufficient size to serve both domestic demand and fire flow.

The existing farming supply wells, which are located in Sections 1 and 36 located north of Sahuarita High School, will be incorporated into the water system to the extent allowed by physical condition and water quality. Additional wells may be drilled south of Helmet Peak Road to augment the water supply and add reliability to the distribution system.

The water system's construction shall proceed in general conformance with the project's roadway construction and shall provide for an ever-expanding waterline loop system so as to maintain adequate pressure and reliability to all planning areas.

The Master Developer, builders, water company or the Town of Sahuarita will be responsible for design and construction of all on-site spine system improvements. The Town of Sahuarita or any other governmental agency could, in their sole discretion construct any public infrastructure or facilities including roads, sewer, water utility lines, parks or any other public facility within the Rancho Sahuarita Specific Plan to serve a public benefit.

Utilities: Electric, telephone, gas, and cable television utilities shall be furnished to the site in accordance with servicing provisions and financial contributions mandated by each individual service provider. The Master Developer or the Town of Sahuarita will bear all applicable costs for spine infrastructure in accordance with these provisions.

The phasing of these utilities shall largely be the province of each service provider and will be determined at actual development review and processing.

G. Transfer of Density

To ensure the orderly growth of a well-balanced community, the designated planning areas within the Rancho Sahuarita Specific Plan shall be developed at densities consistent with or less than the designated density ranges except as provided for in a density transfer. Modifications in the boundaries and acreage of planning areas or adjustment because of final road alignments, drainage (including retention/detention) will occur during technical refinements in the tentative plat map process and shall not require an amendment to the Specific Plan. Maximum dwellings units per cumulative planning area will thereby be adjusted. The Rancho Sahuarita Specific Plan residential dwelling unit cap shall be 11,680 dwelling units.

A transfer of residential density from one residential planning area or sub-area to another residential area or sub-area is permitted within the Specific Plan in accordance with the following provisions:

In no case shall transfer of dwelling units result in:

1. Exceeding the overall Plan cap of 11,680 dwelling units;
2. Changing the existing density classification any higher than the next highest classification;
3. Exceeding the capacity of the circulation system or other public facilities as established for the Specific Plan area without a subsequent change in the infrastructure system to accommodate the increase in dwelling units.

At time of approval of respective tentative plats by the Planning Commission, a revised Specific Plan map and planning area summary shall be submitted for all transfers of density. Said map and table shall also indicate the remaining number of units, if any, that may be accommodated without exceeding the maximum density cap. Dwelling units not transferred at the time of platting or development plan shall be deducted from the overall dwelling unit cap as an administrative amendment. Said exhibit and table shall be dated accordingly. Transfers of density will be reviewed for conformance with this Specific Plan.

Transferring density that results in a change to the density of a higher or lower category will require the application of development regulations for that new category. This will apply only to the portion of a planning area or sub-area ("sub-pod") that is adjusted by the density transfer.

H. Monitoring Program

Land Uses: The Specific Plan Monitoring Program is designed to provide assurances to the Town of Sahuarita, and the developer that the Specific Plan is operating properly as the development is built out. The function of the program is to establish a system which allows periodic adjustments within the project planning area. This system provides mechanisms for accomplishing and documenting these adjustments. The monitoring program effectively establishes an accounting system to insure that all changes, upon approval, are properly recorded at the scale of the total project and each planning area reflected in this Specific Plan. (See Exhibit VI-H.1: Rancho Sahuarita Specific Plan Monitoring Report).

In order to accommodate possible changes and to insure conformance with adopted Town of Sahuarita Development Code, the following provisions shall guide and govern incremental allocation and provision of residential dwelling units within the project area.

1. The overall assigned dwelling unit yield of 11,680 residential dwelling units shall not be exceeded;
2. Development Plans or plats shall be submitted to the Town of Sahuarita for review and approval prior to development. Such plans shall be consistent with this Specific Plan;
3. All drafts of such monitoring tables and the final approved version shall be identified by a revision date located in the title block. Said table shall be a part of the adopting ordinance;
4. The Town Planning Director shall cause to be established and maintained an official project file for the Rancho Sahuarita Specific Plan, which contains an original and certified copy of every revision to the Specific Plan, including a record of dwelling unit potential remaining in each development area.

Site Plan Review Procedures

The Specific Plan shall be implemented through the review process of development plans and/or plats (Town of Sahuarita Subdivision Ordinance). The review process shall include the developer and the Town of Sahuarita.

A drainage report for the specific plan area must be approved by the Town Engineer prior to the issuance of grading permits or any other permits for development activity within the specific plan area. Additionally, Pima County Flood Control shall approve any proposed modifications for the Santa Cruz River and its 100-year floodplain.

A plan document will be required for all development within the Specific Plan area requiring a building permit in accordance with the Town of Sahuarita Subdivision Code, 18.69.

All proposed projects within the Specific Plan area shall be required to have an approved plat prior to: issuance of building permits, conditional use permits, or any other Town of Sahuarita permit for the property. Plant salvage, clearing and grading can occur after tentative plat is approved if assurances in a form acceptable to the Town are posted prior to the issuance of permits. The plan review procedure is necessary for the following reasons:

1. To ensure consistency with the Specific Plan, the Town of Sahuarita land use policies and all implementing ordinances and development policies;
2. To promote the highest contemporary standards of site design;
3. To adapt to specific or special development conditions that occur from time to time while continuing to implement the Specific Plan and conform development to the Town of Sahuarita land use policies and implementing ordinances;
4. To facilitate complete documentation of authorized land use entitlement and pertinent conditions;
5. To adapt to substantial changes that may occur with respect to the circumstances under which the project is undertaken.

J. Specific Plan Administration

1. Enforcement:

The Rancho Sahuarita Specific Plan shall be administered and enforced by the Town of Sahuarita Planning and Development Services Department in accordance with the provisions of the Town of Sahuarita Zoning Code.

2. Administrative Change:

Certain changes to the explicit provisions in the Specific Plan may be made administratively by the Planning Director. The Planning Director's decision regarding administrative changes and determination of substantial change, as outlined below, shall be subject to appeal to the Town Council. The Town Council decision shall be final. Categories of administrative change include, but are not limited to:

- a. The addition of new information to the Specific Plan maps or text that does not change the effect of any regulations or guidelines, as interpreted by the Planning Director.
- b. Changes to the community infrastructure planning and alignment such as roads, drainage, water and sewer systems which do not increase or decrease development capacity in the Specific Plan area.
- c. The determination that a use may be allowed which is not specifically listed as permitted, but which may be determined as an analogous and/or accessory use explicitly listed as permitted, is made by the Zoning Administrator.
- d. Any type of administrative change is permitted per approval by the Planning Director in consultation with the Town Engineer.

3. Substantial Change

- a. This Specific Plan may be substantially amended by the same procedure as it was adopted. Each request shall include all sections or portions of the Specific Plan that are affected by the change. The Planning Director shall determine if the amendment would result in a substantial change in plan regulations, as defined in Section 18.90.080.C.3.c. of the Pima County Zoning Code.
- b. If the request is determined to be an insubstantial change, the proposed amendment may be approved as an administrative

change by the Planning Director in accordance with Section 2, above.

4. Interpretation:

The Planning Director shall be responsible for interpreting the provisions of this Specific Plan. Appeals to the Planning Director's interpretation may be made within 30 days from the date of the interpretation to the Town Council. The Town Council's decision shall be final.

5. Fees:

A reasonable fee related to actual Town administrative costs will be assessed for the purpose of reviewing and processing applications for all amendments and changes to, and all formal requests for interpretation of the specific plan.

Exhibit VI-H.1: Rancho Sahuarita Specific Plan Monitoring Report

TABLE

**DATE
ACTION**

RANCHO SAHUARITA SPECIFIC PLAN MONITORING REPORT

1	2	3	4	5	6	7
PLANNING AREA (or sub-area)	PCCP DESIG.¹	DEVELOP. ACRES	CATEGORY	D/U UTILIZED	D/U REMAINING	D/U CAP

TOTAL

¹ Pima County Comprehensive Plan Land Use Designation for planning area

VII. APPENDICES

Appendix A: Ownership and Tax Code

The sole owner of the property within the Specific Plan Area is Fidelity Title Trust # 10728.

Pima County Assessor Tax Parcel Numbers are as follows:

303-06-005E	303-36-002D
303-08-003A	303-36-003A
303-33-001A	303-36-004A
303-33-006A	303-36-005A
303-33-007A	303-36-007A
303-33-010A	303-36-008A
303-35-001A	303-36-008B
303-36-002B	303-42-001C

Appendix B: Legal Description



4911 EAST BROADWAY
TUCSON, ARIZONA 85711
(602) 750-7474
FAX (602) 750-7470

CBA File No. 106845-01-0104
09/23/94
BFS01975.01D (1)

Description of Boundary of Rancho Sahuarita

A part of Sections 35 and 36 of Township 16 South, Range 13 East, and Sections 1, 11, 12, 13, 14, and 23 of Township 17 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, described as follows:

BEGINNING at the Northwest corner of said Section 11;

THENCE N 89°06'42" E along the North line of the Northwest Quarter (NW 1/4) of Section 11 a distance of 2,647.90 feet to the North line of the Northeast Quarter (NE 1/4) of Section 11;

THENCE N 89°06'46" E along the said North line a distance of 2,647.32 feet to the South line of the West Half (W 1/2) of the Southwest Quarter (SW 1/4) of said Section 1;

THENCE N 89°48'56" E along the said South line a distance of 1,317.06 feet to the East line of said West Half (W 1/2);

THENCE N 00°52'38" W along the said East line a distance of 2,626.20 feet to the East line of the West Half (W 1/2) of the Northwest Quarter (NW 1/4) of said Section 1;

THENCE N 00°54'38" W along the said East line a distance of 2,626.28 feet to the North line of said Northwest Quarter (NW 1/4);

THENCE S 89°05'35" W along the said North line a distance of 1,323.27 feet to the South line of the Southeast Quarter (SE 1/4) of said Section 35;

THENCE S 89°02'02" W along the said South line a distance of 2,647.45 feet to the West line of said Southeast Quarter (SE 1/4);

THENCE N 00°08'58" W along the said West line a distance of 2,686.46 feet to the West line of the Northeast Quarter (NE 1/4) of Section 35;

THENCE N 00°11'08" W along the said West line a distance of 16.00 feet;

THENCE N 89°10'29" E 958.64 feet;

THENCE N 89°01'47" E 1,203.17 feet;

THENCE S 00°10'09" W 419.12 feet;

THENCE S 23°59'14" E 445.23 feet;

THENCE N 82°00'50" E 321.47 feet to the East line of the Southeast Quarter (SE 1/4) of Section 35;

OFFICES IN ARIZONA
CALIFORNIA & NEVADA

ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE • WATER RESOURCES • SURVEYING

Legal Description Cont.



CBA File No. 106845-01-0104
09/23/94
BFS01975.01D (2)

THENCE N 00°10'17" E along the said East line a distance of 758.38 feet to the East line of the Northeast Quarter (NE 1/4) of Section 35;

THENCE N 00°24'45" W along the said East line a distance of 31.33 feet;

THENCE N 88°51'08" E 2,603.32 feet;

THENCE S 00°06'29" E 44.05 feet to the North line of the Southwest Quarter (SW 1/4) of said Section 36;

THENCE N 89°07'56" E along the said North line a distance of 30.00 feet to the East line of said Southwest Quarter (SW 1/4);

THENCE N 64°16'08" E 108.43 feet;

THENCE N 88°42'53" E 1,329.55 feet;

THENCE N 09°14'48" W 17.19 feet;

THENCE N 80°42'08" E 839.81 feet;

THENCE S 31°45'41" E 227.71 feet to the North line of the Southeast Quarter (SE 1/4) of Section 36;

THENCE N 89°07'56" E along the said North line a distance of 250.49 feet to the East line of said Southeast Quarter (SE 1/4);

THENCE S 00°35'08" E along the said East line a distance of 2,664.86 feet to the East line of the Northeast Quarter (NE 1/4) of Section 1;

THENCE S 00°44'34" E along the said East line a distance of 2,651.49 feet to the East line of the Southeast Quarter (SE 1/4) of Section 1;

THENCE S 00°43'44" E along the said East line a distance of 2,650.71 feet to the East line of the Northeast Quarter (NE 1/4) of said Section 12;

THENCE S 00°42'05" E along the said East line a distance of 2,651.19 feet to the South line of said Northeast Quarter (NE 1/4);

THENCE N 88°24'54" W along the said South line a distance of 1,315.23 feet;

THENCE N 89°51'22" W along the said South line a distance of 1,336.08 feet to the North line of the Southwest Quarter (SW 1/4) of Section 12;

Legal Description Cont.



CBA File No. 106845-01-0104
09/23/94
BFS01975.01D (3)

THENCE S 89°29'02" W along the said North line a distance of 30.00 feet to a line 30.00 feet West of and parallel with the East line of said Southwest Quarter (SW 1/4);

THENCE S 00°46'22" E along the said parallel line a distance of 2,528.02 feet to a line 75.00 feet North of and parallel with the South line of said Southwest Quarter (SW 1/4);

THENCE S 12°06'31" E 153.61 feet to the East line of the Northwest Quarter (NW 1/4) of said Section 13 and a line 75.00 feet South of and parallel with the North line of said Northwest Quarter (NW 1/4);

THENCE S 00°55'30" E along the said East line a distance of 1,245.15 feet to the South line of the North Half (N 1/2) of said Northwest Quarter (NW 1/4);

THENCE N 89°35'43" W along the said South line a distance of 2,610.51 feet to the East line of the Northeast Quarter (NE 1/4) of said Section 14;

THENCE S 00°29'10" E along the said East line a distance of 1,317.75 feet to the East line of the Southeast Quarter (SE 1/4) of Section 14;

THENCE S 00°28'39" E along the said East line a distance of 1,976.60 feet to the North line of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 14;

THENCE S 89°05'56" W along the said North line a distance of 264.45 feet to a line 264.45 feet West of and parallel with the said East line;

THENCE S 00°28'39" E along the said parallel line a distance of 658.91 feet to the South line of said Southeast Quarter (SE 1/4);

THENCE S 23°52'02" E 217.20 feet to the South line of the North 200.00 feet of the Northeast Quarter (NE 1/4) of said Section 23;

THENCE S 00°35'22" W 2,238.83 feet;

THENCE S 45°50'16" E 285.98 feet to a line 30.00 feet West of and parallel with the East line of said Northeast Quarter (NE 1/4);

THENCE S 00°46'20" E along the said parallel line a distance of 38.79 feet to a line 30.00 feet West of and parallel with the East line of the Southeast Quarter (SE 1/4) of said Section 23;

THENCE S 00°46'18" E along the said parallel line a distance of 2,679.10 feet to the South line of said Southeast Quarter (SE 1/4);

Legal Description Cont.



CBA File No. 106845-01-0104
09/23/94
BFS01975.01D (4)

THENCE S 89°40'50" W along the said South line a distance of 2,391.40 feet to the East right-of-way line of Interstate 19;

THENCE N 02°06'52" W along the said East right-of-way line a distance of 1,436.77 feet;

THENCE N 02°06'59" W along the said East right-of-way line a distance of 2,000.22 feet;

THENCE N 02°06'12" W along the said East right-of-way line a distance of 695.04 feet;

THENCE N 04°26'29" E along the said East right-of-way line a distance of 1,007.07 feet to a line 200.00 feet South of and parallel with the North line of said Northeast Quarter (NE 1/4);

THENCE N 02°04'23" W 200.04 feet to the North line of said Northeast Quarter (NE 1/4) on the East right-of-way line of Interstate 19;

THENCE N 08°38'41" W along the said East right-of-way line a distance of 1,011.32 feet;

THENCE N 02°06'29" W along the said East right-of-way line a distance of 1,498.76 feet to a point of curvature of a tangent curve concave to the West;

THENCE Northerly along the said East right-of-way line, along the arc of said curve, to the left, having a radius of 34,195.40 feet and a central angle of 02°01'17" for an arc distance of 1,206.41 feet to a non-tangent line;

THENCE N 05°14'30" E along the said East right-of-way line a distance of 250.29 feet to the South line of the North Half (N 1/2) of the Northwest Quarter (NW 1/4) of said Section 14;

THENCE S 89°07'45" W along the said South line a distance of 2,570.92 feet to a line 75.00 feet East of and parallel with the West line of said Northwest Quarter (NW 1/4);

THENCE N 00°46'33" W along the said parallel line a distance of 1,242.95 feet to a line 75.00 feet South of and parallel with the North line of said Northwest Quarter (NW 1/4);

THENCE N 27°24'45" W 167.67 feet to the West line of said Section 11 on a line 75.00 feet North of and parallel with the South line of Section 11;

THENCE N 00°54'31" W along the said West line a distance of 5,158.95 feet to the POINT OF BEGINNING.

Legal Description Cont.



CBA File No. 106845-01-0104
09/23/94
BFS01975.01D (5)

LESS those portions lying with the right-of-way of Interstate 19, Helmet Peak-Sahuarita Road, and El Toro Road.

LESS the Sahuarita School site, described as follows:

BEGINNING at the Northeast corner of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of said Section 12;

THENCE S 89°55'15" W along the North line of said Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) a distance of 1,302.15 feet to the Northeast corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of said Section 11;

THENCE S 89°07'35" W along the North line of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) and the North line of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4) of Section 11 a distance of 1,489.73 feet to the West line of the East Quarter (SE 1/4) of the Southwest Quarter (SW 1/4) of the Southeast Quarter (SE 1/4);

THENCE S 00°56'47" E along the said West line a distance of 1,233.85 feet to the North right-of-way line of Helmet Peak-Sahuarita Road;

THENCE N 89°07'52" E along the said North right-of-way line a distance of 1,490.17 feet;

THENCE S 89°38'39" E along the said North right-of-way line a distance of 1,300.18 feet to the East line of the Southwest Quarter (SW 1/4) of the Southwest Quarter (SW 1/4) of Section 12;

THENCE N 00°52'02" W along the said East line a distance of 1,243.81 feet to the POINT OF BEGINNING.

Prepared by:

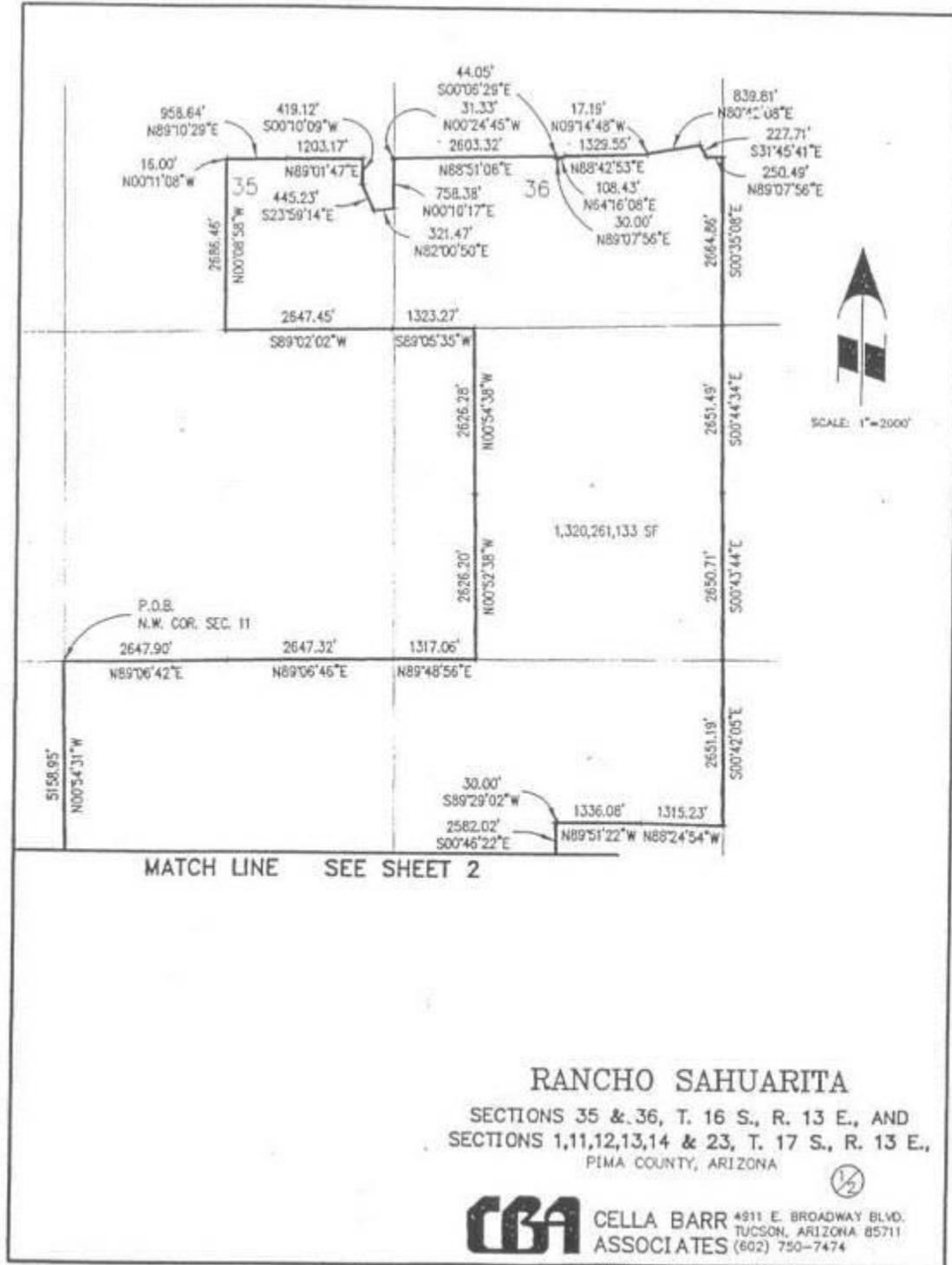
CELLA BARR ASSOCIATES

Bruce Small

Bruce F. Small, R.L.S.



Legal Description Cont.

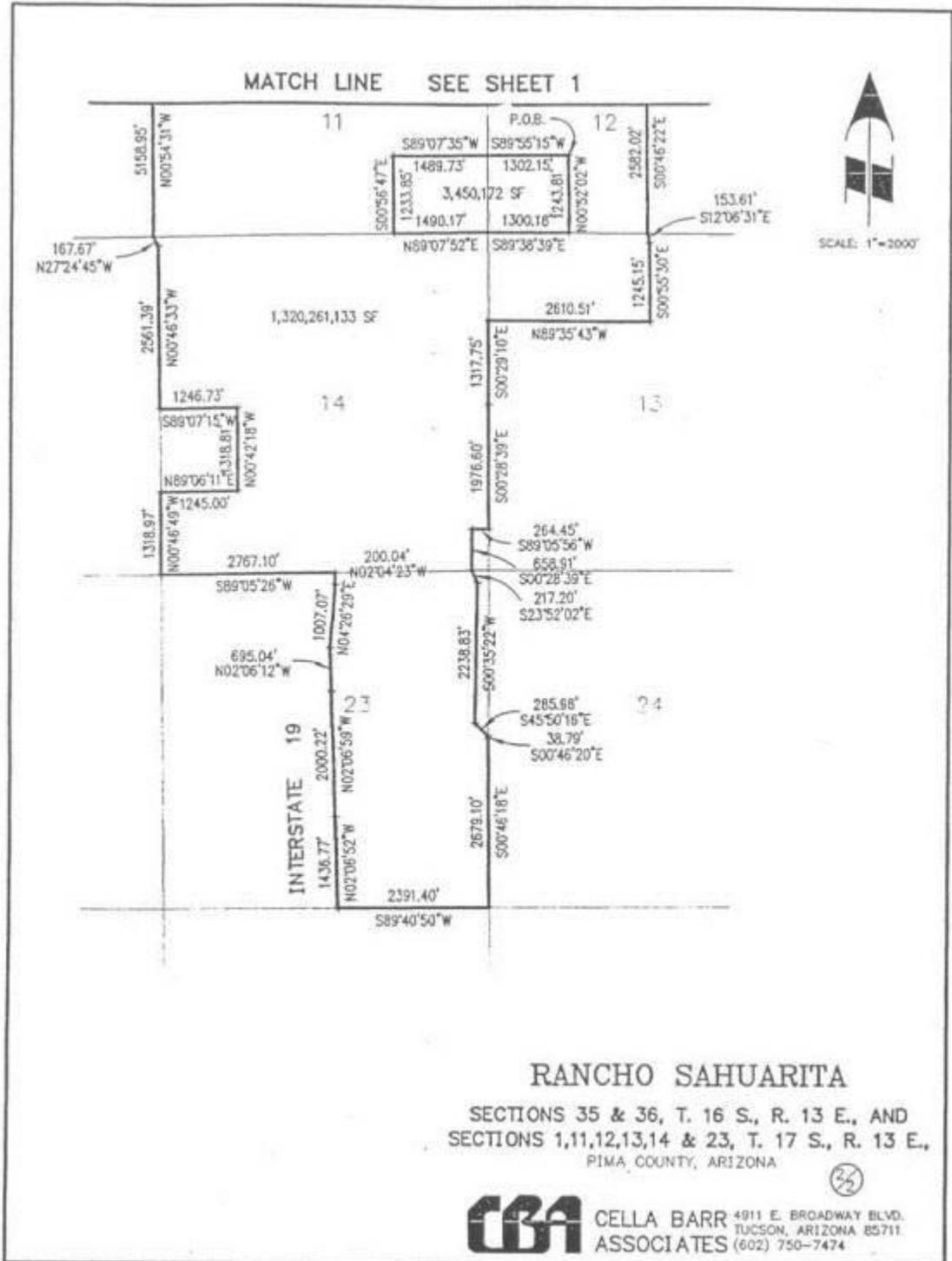


RANCHO SAHUARITA
 SECTIONS 35 & 36, T. 16 S., R. 13 E., AND
 SECTIONS 1,11,12,13,14 & 23, T. 17 S., R. 13 E.,
 PIMA COUNTY, ARIZONA

CBA CELLA BARR ASSOCIATES 4911 E. BROADWAY BLVD.
 TUCSON, ARIZONA 85711 (602) 750-7474

Y:\0684501\80819011 5/11/54

Legal Description Cont.



Appendix C: Arizona Game and Fish Letter



THE STATE OF ARIZONA

GAME & FISH DEPARTMENT

2221 West Greenway Road, Phoenix, Arizona 85023-4399 (602) 942-3000

555 N. Greasewood Rd., Tucson, AZ 85745 (602) 628-5376

Governor
Fife Symington
Commissioners:
Larry Taylor, Yuma, Chairman
Elizabeth T. Woodie, Tucson
Arthur Porter, Phoenix
Nona Johnson, Snowflake
Michael M. Gulgisty, Flagstaff
Director
Duane L. Shoultz
Deputy Director
Thomas W. Spaulding

28 April 1994

Ms. Paige Winslett
The Planning Center
450 W. Paseo Redondo, Ste. 202
Tucson, Arizona 85701

Re: Site Analysis Information for 2800-Acre Parcel at the
Intersection of Interstate 19 and Sahuarita Road; T17S, R13E,
Sections 1,2,11,12,14, and 23 .

Dear Ms. Winslett:

We have reviewed the above-referenced project for potential impacts to special status species, habitats of special concern, and wildlife resources in the project area. Due to time and personnel constraints, we were unable to do an on-the-ground review of resource conditions.

Information contained in Region V's special status species database is dynamic and is updated on a periodic basis. Any information, therefore, is likely to become outdated shortly after its release. Such information is intended to serve as a guide regarding what species may be found in a particular area. It does not represent the results of comprehensive species-specific surveys. These comments provide the context from which to evaluate the information provided below.

Current records in Region V's special status species database shows there are no known locations for any special status species on or immediately adjacent to the project site. However, habitats in the vicinity potentially support two special status species. The desert tortoise (*Gopherus agassizii*) is a federal Category 2 Candidate species and a Candidate for inclusion on the State's list of Threatened Native Wildlife in Arizona. It is generally found in rocky foothills, semi-desert scrublands, bajadas, and creosote flats.

The yellow-nosed cotton rat (*Sigmodon ochrognathus*) is federally listed as a Category 2 Candidate species. This rat is generally found on grassy, dry, rocky slopes in semidesert grasslands and Madrean evergreen woodlands.

An Equal Opportunity Agency

Arizona Game & Fish Letter Cont.

Ms. Winslett
28 April 1994
2

According to Pima County's Map of Critical and Sensitive Wildlife Habitats, the Santa Cruz River and its prominent tributary washes that drain the property are Class II riparian wildlife habitat. The uplands, characterized as a saguaro - palo verde community, are also recognized as Class II wildlife habitats.

To lessen the adverse impact that development of the site will have on wildlife habitat availability and the potential to directly or indirectly affect the two species of concern, the Department recommends the following:

compliance with the enclosed guidelines for handling desert tortoise encountered on development projects;

retention of mature vegetation, particularly saguaros and tree species;

site structural features in such a manner as to maintain the natural vegetative and hydrologic integrity of the Class II riparian habitats;

maximize the amount of interconnected open space within the development; and

utilize native plant species for all on-site vegetation and revegetation.

Sincerely,



Sherry A. Ruther
Habitat Specialist
Tucson Regional Office

SAR:sar

Enclosure

GUIDELINES FOR HANDLING SONORAN DESERT TORTOISES
ENCOUNTERED ON DEVELOPMENT PROJECTS
Arizona Game and Fish Department
Revised November 29, 1993

Desert tortoises of the Sonoran population are those occurring south and east of the Colorado River. Tortoises encountered on short-term projects (less than one week), and not in a burrow should be moved out of harm's way to adjacent appropriate habitat. A tortoise should be moved no further than necessary, not to exceed 0.1 mile from its original location. If it is necessary to move a tortoise more than 0.1 mile to safeguard that tortoise, the Arizona Game and Fish Department (Department) should be contacted to place the tortoise into a Department-regulated desert tortoise adoption program. Moving a tortoise should be done quickly, handling the tortoise as little as possible, while keeping the tortoise in an upright position at all times. If more than one tortoise is to be handled, separate disposable gloves should be worn for each one to avoid potential transfer of disease between tortoises.

If a burrow of a specific tortoise is determined to be in jeopardy of destruction, the tortoise should be relocated to the nearest appropriate alternate burrow, as determined by a qualified biologist. Failure to locate a suitable burrow nearby could mean death for a tortoise, especially during May, June or July, before the onset of the summer rains, or during the winter brumation (hibernation) in December, January and February. If a suitable burrow cannot be found nearby, the tortoise should be placed in an adoption program.

Tortoises salvaged from projects which result in substantial permanent habitat loss (e.g. housing and farm developments), or those requiring removal during long-term (longer than one week) construction projects, will also be placed in desert tortoise adoption programs. Managers of projects likely to affect desert tortoises should apply for a Department handling permit to facilitate temporary possession of tortoises. Likewise, if large numbers of tortoises (>5) are expected to be displaced by a project, the project manager should contact the Department for guidance and/or assistance.

Please keep in mind the following points:

- These guidelines do not apply to the Mohave population of desert tortoises which are found to the north and west of the Colorado River. Mohave desert tortoises are specifically protected under the Endangered Species Act, as administered by the U.S. Fish and Wildlife Service.
- These guidelines are subject to revision at the discretion of the Department. We recommend that the Department be contacted during the planning stages of any project that may affect the desert tortoise.
- Take, possession or harassment of a desert tortoise is prohibited by state law. Unless specifically authorized by the Department, or as noted above, project personnel should avoid disturbing any tortoise.

RAC:NLO:rc



GAME & FISH DEPARTMENT

2221 West Greenway Road, Phoenix, Arizona 85023-4399 (602) 942-3000
555 N. Greasewood Rd., Tucson, AZ 85745 (602) 628-5376

Governor
Fife Symington
Commissioners:
Larry Taylor, Yuma, Chairman
Elizabeth Y. Woodin, Tucson
Arthur Porter, Phoenix
Norie Johnson, Snowflake
Michael M. Gougherty, Flagstaff
Director
Duane L. Shouse
Deputy Director
Thomas W. Spalding

27 September 1994

Ms. Paige Winslett
The Planning Center
450 W. Paseo Redondo, Ste. 202
Tucson, Arizona 85701

Re: Site Analysis Information for Approximately 500 Acres Between
Interstate 19 and the Santa Cruz River; T16S, R13E, Section 35
& 36.

Dear Ms. Winslett:

We have reviewed the above-referenced project for potential impacts to special status species, habitats of special concern, and wildlife resources in the project area. Due to time and personnel constraints, we were unable to do an on-the-ground review of resource conditions.

Information in Region V's Heritage Data Management System shows that the Pima pineapple cactus (Coryphantha scheeri robustispina) is known from the vicinity of your project site. This cactus is federally listed Endangered under the Endangered Species Act of 1973, as amended; the State classifies it Highly Safeguarded as defined by the Native Plant Law.

The area is also likely to support Sonoran desert tortoise (Gopherus agassizii). This tortoise is a federal Category 2 Candidate species and a Candidate for inclusion on the State's list of Threatened Native Wildlife in Arizona. It is generally found in rocky foothills, semi-desert scrublands, bajadas, and creosote flats. Guidelines for handling desert tortoise encountered on development-related projects are enclosed.

The Great Plains narrow-mouthed toad (Gastrophryne olivacea), a State Candidate species, may also potentially occur on the project site. This toad occurs primarily in seasonally or permanently wet areas of dense grass in semidesert grasslands and oak woodlands.

The Department recommends that you contact the Arizona Department of Agriculture for additional information regarding Arizona Native Plant Law and potential restrictions which may apply to the salvage or removal of plant species. We also recommend that you contact the U.S. Fish & Wildlife Service for additional information

An Equal Opportunity Agency

Ms. Winslett
27 September 1994
2

regarding the Endangered Species Act and how it would apply if a federally protected species is found on the project site.

Mr. James McGinnis
Manager, Native Plant Law
Plant Services Division
Arizona Dept. of Agriculture
1601 N. 7th Street
Phoenix, Arizona 85006
602/407-2992

Mr. Sam Spiller
State Supervisor
Az Ecological Services State Ofc
U.S. Fish & Wildlife Service
3616 W. Thomas, Ste. 6
Phoenix, Arizona 85019
602/379-4720

According to Pima County's Map of Critical and Sensitive Wildlife Habitats, the washes primarily located in the southern portion of the subject property is recognized as Class II riparian wildlife habitat. Upland vegetation in the area is characteristic of the saguaro - palo verde community type, Class II wildlife habitat.

Increasing the housing density in any given area generally results in a decrease of the site's wildlife resources. To lessen the potential for adverse impacts related to intensified land use on the site, the Department recommends the following:

compliance with the enclosed guidelines for handling desert tortoise encountered on development projects;

site structural features in such a manner as to maintain the natural vegetative and hydrologic integrity of the Class II riparian habitats;

salvage or avoid disturbing mature woody vegetation on-site including saguaros; and

maximize the amount of interconnected open space within the development; and

utilize native plant species for all on-site vegetation and revegetation.

Ms. Winslett
27 September 1994
3

Sincerely,



Sherry A. Ruther
Habitat Specialist
Tucson Regional Office

SAR:sar

Attachment

Appendix D: Pima County Wastewater Management Letter



PIMA COUNTY
WASTEWATER MANAGEMENT DEPARTMENT
201 NORTH STONE AVENUE
TUCSON, ARIZONA 85701-1207

GEORGE A. BRINSKO
Director

May 16, 1994

PH- 740-8500

Marcie Botsford
The Planning Center
450 W. Paseo Redondo, Suite 202
Tucson, Arizona 85701

Re: CAPACITY RESPONSE NO. 94-42

Dear Ms. Botsford:

We have reviewed your request of May 9, 1994 regarding the availability of sewer service for the following proposed use and property:

A multi-functional corridor development on approximately 2,600 acres near the intersection of I-19 and Sahuarita Road. The site includes acreage in T16S, R13E, Sections 35 and 36, and in T17S, R13E, Sections 1, 2, 11, 12, 14 and 23.

Under existing conditions (actual developments and commitments for service through approved Sewer Service Agreements), there is capacity for this proposed development in the existing Roger Road Wastewater Treatment Facility (WWTF). At the present time the nearest "down-gradient" sewer line available to carry the flow from this development to the WWTF is at the intersection of Tucson-Nogales Highway and Hughes Access Road. The developer will be responsible to construct a public gravity flow conveyance system, including at least one lift station and pressure line(s) to carry the flow to the 18-inch diameter line at Tucson-Nogales Highway and Hughes Access Road. The developer may be required to construct the involved conveyance facilities to a size needed to serve not only this development but also to serve the tributary area.

A study done in 1990, in conjunction with determining options associated with a Green Valley Wastewater Treatment Facility expansion, demonstrates the feasibility of constructing a mostly gravity flow sewer northerly along Tucson-Nogales Highway to the Hughes Access Road. Prior to the final design of the offsite conveyance system, a preliminary design for the eventual full "gravity" tie over of this gravity line to the existing Metropolitan Tucson area interceptor system would have to be accomplished.

This response is not to be construed as a commitment for conveyance capacity allocation, but rather an analysis of the existing sewerage system as of this date.

A development of this magnitude (four and a half miles long) will require more than a simple Sewer Service Agreement. There will be a need to negotiate conditions before and/or during the Development Plan or Tentative Plat Phases.

APPENDICES

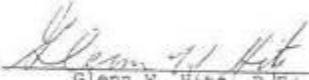
Marcie Botsford
May 16, 1994
Page -2-

Preliminary discussions have indicated that the first development to occur may be toward the southerly boundary of the area. An interim system to pump to the Green Valley Wastewater Treatment Facility would be allowed. The developer would have to meet requirements for maintenance and operation costs of an interim system, and provide a bond or escrow account for future elimination/abandonment costs.

A proposal to pump the sewerage generated within the whole 2,600 acre development to the Green Valley Wastewater Treatment Facility could be reviewed by the Wastewater Management Department. Approval of such a system by the Wastewater Management Department would include additional requirements, including a preliminary design for the eventual full "gravity" tie over of a gravity line to the existing Metropolitan Tucson area interceptor system, easements of adequate width for future sewers (as well as for the force main), an escrow account for maintenance and operation costs, and an escrow account for future elimination/abandonment costs. The design capacity reports for conditions affecting the ultimate sizing of the Green Valley Wastewater Treatment Facility have not included this area in the past.

Should you desire additional information regarding this subject, please contact this office (740-6547).

Very truly yours,


Glenn W. Hitz, P.E.
Civil Engineer

Copy: Jon C. Schladweiler
Steve Magelli
Chris Hutchison
Don Armstrong/Frank Gall
Annette Duarte/Reference File
Capacity Response File

Appendix E: Pima County Administrator's Office



COUNTY ADMINISTRATOR'S OFFICE

PIMA COUNTY GOVERNMENTAL CENTER
130 W CONGRESS, TUCSON, AZ 85701-1317
(602) 740-8661 FAX (602) 740-8171

April 27, 1995

C. H. HUCKELBERRY
County Administrator

Mr. Tom Swanson, Executive Director
Pima Association of Governments
177 N. Church Avenue, Suite 405
Tucson, AZ 85701

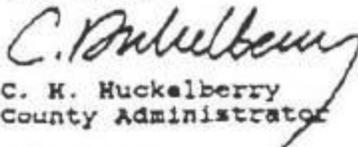
RE: 208 Amendment for Sahuarita - Sharpe Property

Dear Mr. Swanson:

I am writing this letter to request that Regional Council direct PAG staff to begin the 208 amendment planning process for the Town of Sahuarita. It is crucial for the Town to manage the growth through several controlling measures. The 208 amendment process is a very useful tool in controlling growth without sacrificing the environment. By requiring a 208 amendment, developers are encouraged to comply with the Federal, State, and County criteria. The establishment of public wastewater facilities, that will eventually tie into the overall county system, will ultimately assist this region of Arizona in it's wastewater planning.

Mr. Donald Brooks, Project Engineer and President of ICON Consultants, has met with the staff of Pima County on this matter on an ongoing basis. As I have been informed, Chapter 5 of the Guide to Area-Wide Water Quality Management Planning as Required Under Section 208 of the Clean Water Act states that, "Sponsorship does not mean support; it only indicates a willingness to investigate the possibility of such a project". Because the Town of Sahuarita is not yet a member of PAG, Pima County would, on the Town's behalf, support sponsorship for this 208 amendment.

Sincerely,


C. H. Huckelberry
County Administrator

CHH:LRS:sap

c: Leo R. Smith, Special Projects Manager for Development

Appendix F: Arizona State Museum



Arizona State Museum

THE UNIVERSITY OF
ARIZONA
TUCSON, ARIZONA

Tucson, Arizona 85721
(602) 621-6281
FAX (602) 621-2976

March 10, 1994

Ms. Paige Winslett
Project Planner
THE PLANNING CENTER
450 West Paseo Redondo
Suite #202
Tucson, AZ 85701

Dear Ms. Winslett:

Thank you for your letter of March 2nd requesting an archaeological site file check for property located at T17S R13E Secs 1, 2, 11, 12, 14, and 23. This is for a 2800 acre development in the vicinity of I-19 and Sahuarita Road.

The Archaeological Site Survey Files at the Arizona State Museum have been consulted with the following results. SECTION 1: there is one survey (1988-240) that runs east-west through the center of the section. There are no known sites. SECTION 2: there is one survey (1988-240) that runs east-west through the center of the section from I-19 eastward. Another survey (1971-1) runs north-south through the center of the section as well as along the western boundary of the section and along the southern section line-west half. There are no known sites. SECTION 11: survey 1988-240 runs east-west through the northern quarter of the section but stops at I-19. Same survey runs east-west from I-19 east along the southern baseline. There are no recorded sites. SECTION 12: survey 1988-240 runs east-west through the northern quarter of the section; and east-west along the southern baseline. Survey 1983-158 is 100% coverage of most of the west half of the section and 10 sites were recorded on that survey. These sites are: AZ EE:1:140 - 149. Site AZ EE:1:87 is also recorded for the west half of the section. SECTION 14: survey 1988-240 runs east-west just north of the center line from I-19 east to edge of section. Site AZ E:1:2 is in the northeast corner, although most of the site is in the section to the east. And finally SECTION 23: there are no known sites nor surveys. Since the area is so large, and based on what has been found on the intensive survey, there is a high degree of probability for the recovery of cultural remains. Therefore the Arizona State Museum recommends that an on-the-ground survey of the project area be conducted prior to any ground modification activities. Clearance on this property would not be recommended until after archaeological investigations have been conducted by a qualified (based on standards established by the State Historic Preservation Office) archaeologist.

If you have any questions concerning this statement, please feel free to contact me at 621-4011. Billing for this file check is herein enclosed.

Sincerely,

A handwritten signature in cursive script, appearing to read "Sharon F. Urban".

Sharon F. Urban (Miss)
Public Archaeologist

Encl. (1)



Arizona State Museum

THE UNIVERSITY OF
ARIZONA
TUCSON ARIZONA

Tucson, Arizona 85721
(602) 621-6281
FAX (602) 621-2976

July 21, 1994

Mr. Kelly Butwinski
Project Planner
THE PLANNING CENTER
450 West Paseo Redondo
Suite 202
Tucson, AZ 85701

Dear Mr. Butwinski:

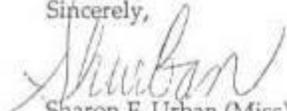
Thank you for your letter of July 15th requesting an archaeological sit file check for property located at T16S R13E Secs 35 and 36.

The Archaeological Site Survey Files at the Arizona State Museum have been consulted with the following results. There have been two archaeological surveys conducted within the study area. One is listed as 1990-166 and was conducted on the far eastern end of the project. There is also a linear survey that borders most of the northern property line and all of the western edge of the project. This survey is listed as 1974-1. No sites were found on either survey. On the map you sent, surveys have been plotted and that map is being returned for your files.

There is a medium degree of potential for the recovery of cultural remains on the subject property. Therefore the Arizona State Museum recommends that an on the ground survey be conducted on this property prior to any ground modification activities. Clearance on this project would not be recommended until after archaeological investigations have been completed by a qualified (based on standards established by the State Historic Preservation Office) archaeologist.

If you have any questions concerning this statement, please feel free to contact me at 621-4011. Billing for this file check is herein enclosed.

Sincerely,


Sharon F. Urban (Miss)
Public Archaeologist

Encl. (2)
sfu

Appendix G: Sahuarita Unified School District



October 6, 1994

Mr. Norris West
Board President
Sahuarita Unified School District No. 30
P.O. Box 26
Sahuarita, AZ 85629

Dear Mr. West:

This letter shall confirm my intention to donate, at no cost to the Sahuarita Unified School District No. 30, up to 60 acres of land ("the parcel") as the site for the construction of a high school. Prior to conveying title to the parcel, the following terms and conditions must be satisfied:

- 1) The location and shape of the parcel shall be mutually agreeable to all parties.
- 2) The land use plan and building design for the facility shall be approved by all parties.
- 3) The donation of the land shall be in lieu of an impact or similiar fee that could be subsequently levied against the developer's property.
- 4) A specific zoning plan for the developer's property, which contains land uses in accordance with the currently proposed comprehensive plan amendment, shall be approved by Pima County or The Town of Sahuarita.
- 5) An acceptable agreement shall be executed between Pima County or The Town of Sahuarita and the developer, which provides for the construction of an onsite wastewater treatment plant, to be located on the developer's property, in order to provide sewer service and effluent to the school and the developer's property.
- 6) A bond election in order to fund the construction of the school shall be passed prior to the end of 1995.

Appendix H: Recommended Plant Palette List

LANDSCAPE ZONE #1 (Primary - Community Entry):

Botanical Name	Common Name
Trees:	
<i>Acacia spp.</i>	Acacia
<i>Bauhinia congesta</i>	Anacacho Orchid
<i>Carya illinoensis</i>	Pecan
<i>Cercidium spp.</i>	Palo Verde
<i>Chilopsis linearis</i>	Desert Willow
<i>Fraxinus greggii</i>	Gregg Ash, Littleleaf Ash
<i>Olea europaea 'Swan Hill'</i>	Fruitless Olive
<i>Olneya tesota</i>	Ironwood
<i>Palmae spp.</i>	Palm
<i>Pinus spp.</i>	Pine
<i>Pithecellobium spp.</i>	Ebony
<i>Prosopis spp.</i>	Hybrid Mesquite
<i>Quercus virginiana 'Heritage'</i>	Heritage Oak
Shrubs:	
<i>Acacia spp.</i>	Acacia
<i>Atriplex canescens</i>	Four Wing Saltbush
<i>Berberis spp.</i>	Barberry
<i>Caesalpinia gilliesii</i>	Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red of Paradise
<i>Calliandra eriophylla</i>	Fairy Duster
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Coursetia microphylla</i>	Baby Bonnets
<i>Cupressus sempervirens 'Stricta'</i>	Italian Cypress
<i>Dalea spp.</i>	Dalea
<i>Elaeagnus ebbingei</i>	Ebbing Silverberry
<i>Encelia farinosa</i>	Brittlebush
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Jasminum mesneyi</i>	Primrose jasmine
<i>Larrea tridentata</i>	Creosote
<i>Nolina spp.</i>	Bear Grass
<i>Plumbago scandens</i>	Plumbago
<i>Salvia spp.</i>	Salvia
<i>Simmondsia chinensis</i>	Jojoba
<i>Sophora secundiflora</i>	Texas Mountain Laurel
<i>Vauquelinia californica</i>	Arizona Rosewood
<i>Viguiera deltoidea</i>	Goldeneye
<i>Vitex agnus-castus</i>	Monk's Pepper Tree

Botanical Name	Common Name
Accent Shrubs:	
<i>Agave spp.</i>	Century Plant
<i>Cactus spp.</i>	Cactus
<i>Dasyliirion spp.</i>	Desert Spoon, Sotol
<i>Fouquieria splendens</i>	Ocotillo
<i>Opuntia spp.</i>	Prickly Pear
<i>Penstemon spp.</i>	Penstemon
<i>Yucca spp.</i>	Native Yuccas
Ground Covers/Vines:	
<i>Antigonon leptopus</i>	Queen's Wreath
<i>Berlandiera lyrata</i>	Chocolate Flower
<i>Calylophus hartwegii</i>	Calylophus
<i>Dalea spp.</i>	Dalea
<i>Ficus pumila</i>	Creeping Fig
<i>Mascagnia macroptera</i>	Yellow Orchid
<i>Oenothera spp.</i>	Primrose
<i>Rosa banksiae</i>	Lady Bank's Rose
<i>Rosmarinus officinalis</i>	Rosemary
<i>Teucrium chamaedrys</i>	Germander
<i>Verbena spp.</i>	Verbena

LANDSCAPE ZONE #2 (Secondary - Collector Entry):

All plant materials in the Primary Landscape Zone plus the following:

Botanical Name	Common Name
Trees:	
<i>Carya illinoensis</i>	Pecan
<i>Celtis reticulata</i>	Western Hackberry
<i>Cupressus arizonica</i>	Arizona Cypress
<i>Fraxinus velutina</i>	Arizona Ash
<i>Pistachia chinensis</i>	Chinese Pistache
<i>Quercus virginiana 'Heritage'</i>	Heritage Oak
Shrubs:	
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush
<i>Cassia spp.</i>	Cassia
<i>Cordia parviflora</i>	Little-Leaf Cordia
<i>Leucophyllum spp.</i>	Texas Ranger
<i>Myrtus communis</i>	Classic Myrtle

Botanical Name	Common Name
<i>Rosa banksiae</i>	Lady Banks Rose
<i>Rosmarinus officinalis</i>	Rosemary
Accent Shrubs:	
<i>Aloe barbadensis</i>	Aloe Vera
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Muhlenbergia spp.</i>	Deer Grass
Ground Covers:	
<i>Acacia redolens</i>	Trailing Acacia
<i>Lantana montevidensis</i>	Trailing Lantana

LANDSCAPE ZONE #3 (Tertiary - Residential):

All plant materials in the Primary and Collector Landscape Zones, plus the following:

Botanical Name	Common Name
Trees:	
<i>Brachychiton populneus</i>	Bottle Tree
<i>Brahea armata</i>	Mexican Blue Palm
<i>Carya illinoensis</i>	Pecan
<i>Citrus spp.</i>	Citrus
<i>Fraxinus velutina 'Rio Grande'</i>	Fan-Tex Ash
<i>Lysiloma thornberi</i>	Feather Tree
<i>Quercus virginiana 'Heritage'</i>	Heritage Oak
<i>Trachycarpus fortunei</i>	Windmill Palm
Shrubs:	
<i>Campsis radicans</i>	Trumpet Creeper
<i>Jasminum humile</i>	Italian Jasmine
<i>Juniperus spp.</i>	Juniper
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Nerium oleander</i>	Oleander
<i>Pittosporum spp.</i>	Pittosporum
<i>Plumbago scandens</i>	Summer Snow
<i>Punica granatum</i>	Pomegranate
<i>Ruellia spp.</i>	Ruellia
<i>Xylosma congestum</i>	Xylosma

Botanical Name	Common Name
Accent Shrubs:	
<i>Asclepias spp.</i>	Milkweed
<i>Bougainvillea spp.</i>	Bougainvillea
<i>Euphorbia spp.</i>	Euphorbia
Ground Covers/Vines:	
<i>Asparagus densiflorus 'Sprengeri'</i>	Asparagus Fern
<i>Gelsemium sempervirens</i>	Carolina jasmine
<i>Myoporum parviflora</i>	Myoporum
<i>Trachelopermum spp.</i>	Jasmine
<i>Vinca major</i>	Periwinkle

REVEGETATION SEED MIX:

Botanical Name	Common Name
<i>Acacia constricta</i>	Whitethorn Acacia
<i>Acacia greggii</i>	Catclaw Acacia
<i>Aristida purpurea</i>	Purple Threeawn
<i>Atriplex canescens</i>	Four Wing Saltbush
<i>Baileya multiradiata</i>	Desert Marigold
<i>Bouteloua curtipendula</i>	Sideoats Grama
<i>Bouteloua gracilis</i>	Blue Grama
<i>Calliandra eriophylla</i>	Fairy Duster
<i>Cercidium floridum</i>	Blue Palo Verde
<i>Chilopsis linearis</i>	Desert Willow
<i>Eschscholzia californica</i>	California Poppy
<i>Forestiera neomexicana</i>	Desert Olive
<i>Gaillardia pulchella</i>	Firewheels
<i>Justicia spp.</i>	Chuparosa
<i>Larrea tridentata</i>	Creosote
<i>Oryzopsis hymenoides</i>	Indian Ricegrass
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Sphaeralcea ambigua</i>	Desert Globe Mallow

Additional plants will be considered upon review by the Master Developer.

PROHIBITED PLANT PALETTES

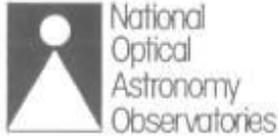
The following are prohibited plant materials:

APPENDICES

Botanical Name	Common Name
<i>Baccharis sarothroides</i> (female)	Desert Broom
<i>Cynodon dactylon</i>	Common Bermuda
<i>Morus alba</i>	Mulberry Tree
<i>Olea europea</i> *	Olive Tree
<i>Parkinsonia aculeata</i>	Mexican Palo Verde
<i>Pennisetum setaceum</i>	Fountain Grass

**Olea europea* 'Swan Hill' is permitted

Appendix I: National Optical Astronomy Observatories Letter



950 N. Cherry Ave.
P.O. Box 26732 Tucson, Arizona 85726-6732
(602) 327-5511 FAX: (602) 325-9360
Telex: 1561401 Auro Ut
Internet: noao @ noao. edu

Kitt Peak National Observatory • Cerro Tololo Inter-American Observatory • National Solar Observatory

February 2, 1995

Mr. Patrick Moore, Project Manager
The Planning Center
450 West Paseo Redondo, Suite 202
Tucson, AZ 85701

Re: Co23-95-1, Rancho Sahuarita Specific Plan

Dear Mr. Moore:

The property for which this rezoning application is made lies within Area A as defined by the Tucson/Pima County Outdoor Lighting Ordinance. Since all outdoor lighting, especially that which is closest to the Mt. Hopkins Observatory, impacts the research being done there, we ask that the above lighting code be incorporated into this application.

We will appreciate timely notice of any public hearing scheduled on this application.

Best regards,

A handwritten signature in cursive script that reads "David L. Crawford".

David L. Crawford
National Optical Astronomy Observatories

DLC/jr

xc: B. Barnes
J. Barr

Appendix J: Bibliography

Critical & Sensitive Biological Communities of the Tucson, Arizona Area. Pima County Department of Transportation and Flood Control District, Tucson, AZ. August 1986.

Desert Plant. David E. Brown (ed.). University of Arizona, Tucson, AZ. 1982

Environmental Site Analysis for Approximately 960 Acres Near Tangerine and Thornydale Roads in Northwestern Tucson, Pima County, Arizona. SWCA, Environmental Consultants, August 6, 1992.

Flood Insurance Rate Maps (effective dated February 15, 1983), Federal Emergency Management Agency, Baltimore, Maryland.

Floodplain Management Ordinance No. 1988-FCI for Pima County Arizona, adopted by the Board of Directors, Pima County Flood Control District, April 26, 1988., Pima County, Arizona, Department of Transportation and Flood Control.

Long Range Transportation Plan for Incorporated Pima County 1986-2005. Pima County Department of Transportation and Flood Control District, Tucson, AZ. June 26, 1986.

Major Streets and Routes Plan - (Co14-79-2), Pima County, Arizona. Amended May 6, 1986.

Pima County Comprehensive Plan. Pima County Arizona. Adopted October 13, 1992.

Pima County Precinct Map/School Districts. 1984 ed. Phoenix Mapping, Phoenix, AZ. 1983.

Report for Tangerine Thornydale State Land Archeological Inspection. P.A.S.T., Professional Archeological Services and Technologies. September 11, 1992.

Subdivision Street Standards, Pima County Transportation and Flood Control District. May, 1989.

Tucson Area Bikeways and Selected Bikeable Streets. Pima Association of Governments, Tucson, AZ. June 1985.

Wildlife Habitats in Tucson: A Strategy for Conservation. Shaw, William, et. al. School of Renewable Natural Resources, University of Arizona, Tucson, AZ. August 1986.

Zoning Code Pima County, Arizona, Pima County, Arizona.

**Appendix K: ~~Park Industrial Performance Standards~~
(removed per Condition 19 of Ordinance 1996-04)**

Appendix L: Site Analysis and Inventory

A. Existing Land Uses

1. Site Location in Regional Context:

The project site consists of approximately 274 acres, located within the incorporated limits of the Town of Sahuarita. Green Valley, Arizona is approximately 5 miles south of this addition to the Rancho Sahuarita Specific Plan. Pod 35 & 36 are currently zoned GR-1 (General Rural: 0.83 residences/acre and support commercial) and RH (Rural Homestead: 0.24 residences/acre and agricultural uses). See Exhibit VII-A.1: Existing Zoning.

2. Existing Land Uses on Site

The majority of site is currently vacant and undeveloped. The southern notch contains existing structures. A portion of the site has previously been disturbed through past agricultural use. Power transmission lines run along the southern boundary and a portion of the eastern boundary of the site. A corresponding utility easement runs beneath these lines. See Exhibit VII-A.2: Existing Land Uses.

3. Surrounding Property Within ¼ Mile Radius

Existing land uses within ¼ mile include the Desert Diamond Casino north of Pima Mine Road, an electric substation to the east, a wastewater treatment facility on the southeast, and a single residential complex adjacent to the southern boundary. Excluding the previously mentioned uses, the majority of the surrounding land is undeveloped. The land immediately to the south of the site falls within the existing Ranch Sahuarita Specific Plan boundary and is designated for residential use.

Within a mile of the eastern boundary of the site is the Santa Cruz River. Just beyond a quarter mile of the western boundary of the site is Interstate-19. Open pit mining operations occur approximately one and one half miles west of the site. These mining operations pose no safety hazard for the site. The mining operations are currently functioning at a minimum production capacity.

The mines are required to control dust in accordance with the Arizona Department of Environmental Quality. A disclosure statement regarding mining activities will be included in the public report and made available to all property buyers in Rancho Sahuarita.

Excluding the casino to the north, the surrounding structures are single

story.

B. Topography

1. Topographic Characteristics:

- a. Restricted Peaks and Ridges: There are no restricted peaks or ridges as designated in the Pima County Zoning Code Section 18.61.120.
- b. Rock Outcrops: There are no rock outcrops on the site. This information was compiled from examination of aerial photographs at 1" = 40' scale and verified by on-site investigation.
- c. Slopes of 15% or Greater: The topography of the site is generally flat to gently rolling, gradually sloping from the west to the east (See Exhibit VII-B.1: Topography). There are no significant slopes greater than 15%.

2. **Average Cross Slope**: Average cross slope is calculated by multiplying the contour interval by the total length of contours by a constant, divided by the area of the site.

$$\text{Average Cross Slope} = \frac{I \times L \times .0023}{AC} = \%$$

$$\text{Average Cross Slope} = \frac{5' \times 41,465.74' \times .0023}{264.92 \text{ AC}} = 1.8\%$$

Exhibit VII-A.1: Existing Zoning.



Exhibit VII-A.2: Existing Land Uses

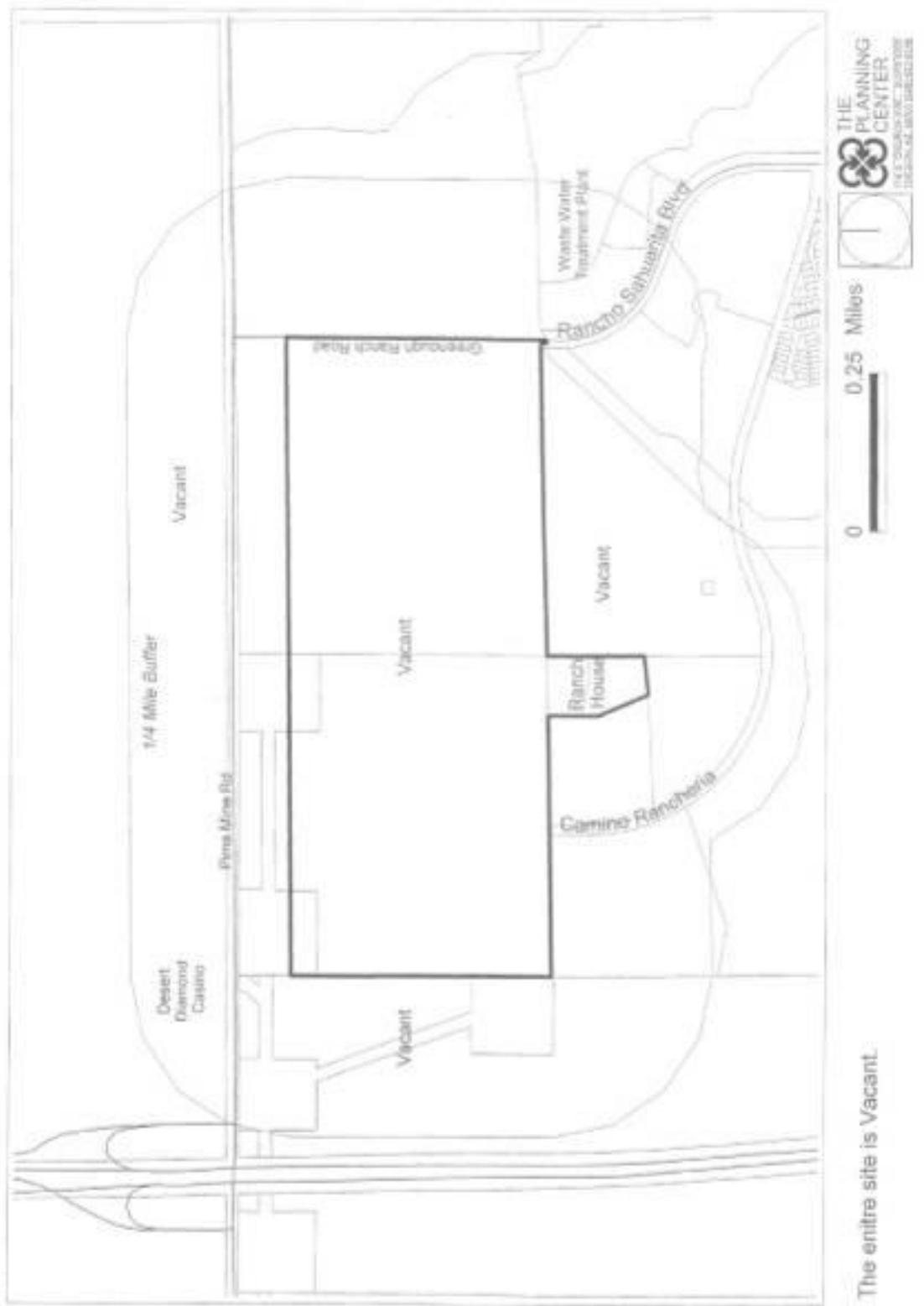


Exhibit VII-B.1: Topography



C. Hydrology

1. Offsite Watershed:

Storm water drainage flow characteristics and surface water hydrology patterns for the site have been evaluated. (See Exhibit VII-C.1: Hydrology Map). The hydrologic evaluation is based on field reconnaissance, historical records, aerial photo interpretation, USGS mapping and current field topography maps. Subsequent calculations and evaluations were completed utilizing this data as well as current criteria for drainage design in Pima County. Peak discharges were calculated using the methodology presented in the Pima County Hydrology Manual for Engineering Design and Floodplain Management. The upstream boundary of the site is impacted by offsite stormwater runoff generally flowing eastward to the Santa Cruz River. (See Exhibit VII-C.2: Offsite Watersheds). Flows impacting the property tend to be less defined near the northwest corner of the property and more defined along the eastern property boundary (adjacent to Greenough Road).

The north to south length of the property is approximately 2,100 feet. The 100-year flow calculated for crossing watersheds have been calculated along the upstream portion of the property.

Peak discharge calculations indicate that the property is subjected to several cross property flows that exceed 100 cfs and range up to approximately 2,000 cfs. Smaller watersheds impacting Interstate-19 that do not exceed 100 cfs during the 100-year storm event augment these flows. Flows cross the property and drain to the Santa Cruz River. Per the Town of Sahuarita Basin Management Study Phase I Report prepared by CMG Drainage Engineering Inc. dated November 30, 1999, all areas within the Town of Sahuarita should be considered for classification as critical basins. Stormwater mitigation requirements will need to be addressed with future development. Per Federal Emergency Management Agency (FEMA) mapping, discharges conveyed within the Santa Cruz River are expected to overtop the channel banks. However, overbank flows do not impact the subject parcel.

The federally mapped FEMA floodplain has been delineated. (See Exhibit VII-C.3: Existing Floodprone Areas). All 100-year discharges exceeding 100 cfs based upon Pima County methodology have also been shown on the Hydrology Map exhibit.

2. Offsite Features that May Affect or May be Affected by the Site:

Offsite features include the tailings ponds associated with upstream mining, downstream power plant and Interstate-19 drainage crossings.

3. Upstream Watersheds With 100-Year Discharges Greater Than 100 cfs:

Upstream watersheds with 100-year discharges greater than 100 cfs have been delineated and are depicted on Exhibit VII-C.2: Offsite Watershed Map.

4. On-Site Hydrology:

a. 100-Year Floodplain Less Than or Equal to 100 cfs:

No onsite floodplains have been mapped where flows are less than 100 cfs during the 100-year storm event.

b. Sheet Flooding Areas With Their Average Depth:

No significant sheet flooding exists within the limits of the subject property. Flows are conveyed across the property within fairly well defined watercourses.

c. Federally Mapped Floodways and Floodplains:

No federally mapped floodways or floodplains exist within the limits of the subject property.

d. Peak Discharges Entering and Leaving the Site:

All significant peak discharges entering and leaving the site are depicted on Exhibit VII-C.2: Offsite Watersheds.

5. Existing Drainage Conditions Along Downstream Property Boundary:

Under existing conditions, storm runoff is conveyed north across/under Pima Mine Road and east to the Santa Cruz River. No significant drainage improvements exist downstream of the property. Offsite and onsite discharges are ultimately conveyed to the Santa Cruz River.

Exhibit VII-C.1: Hydrology Map

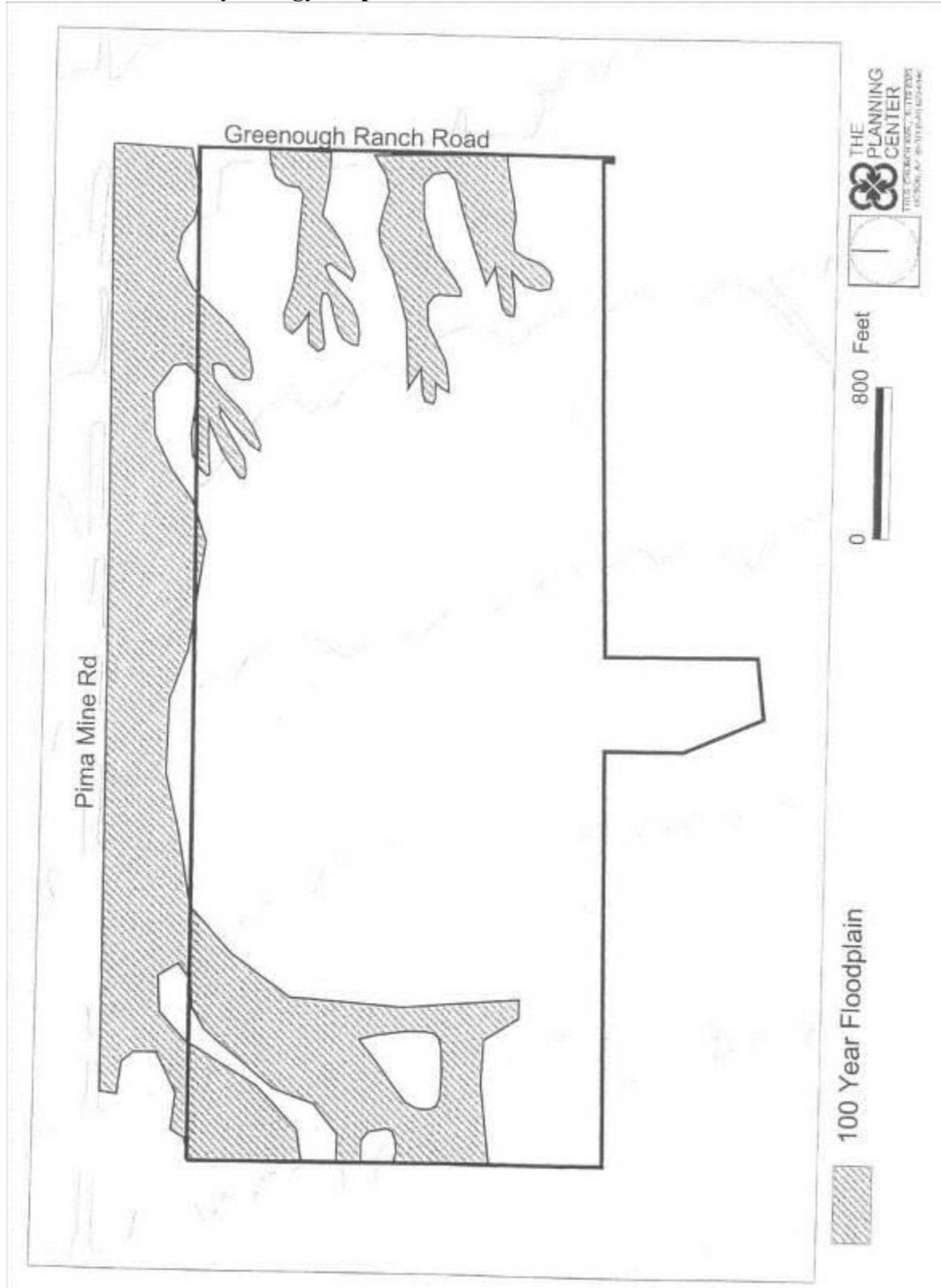


Exhibit VII-C.2: Off-Site Watershed

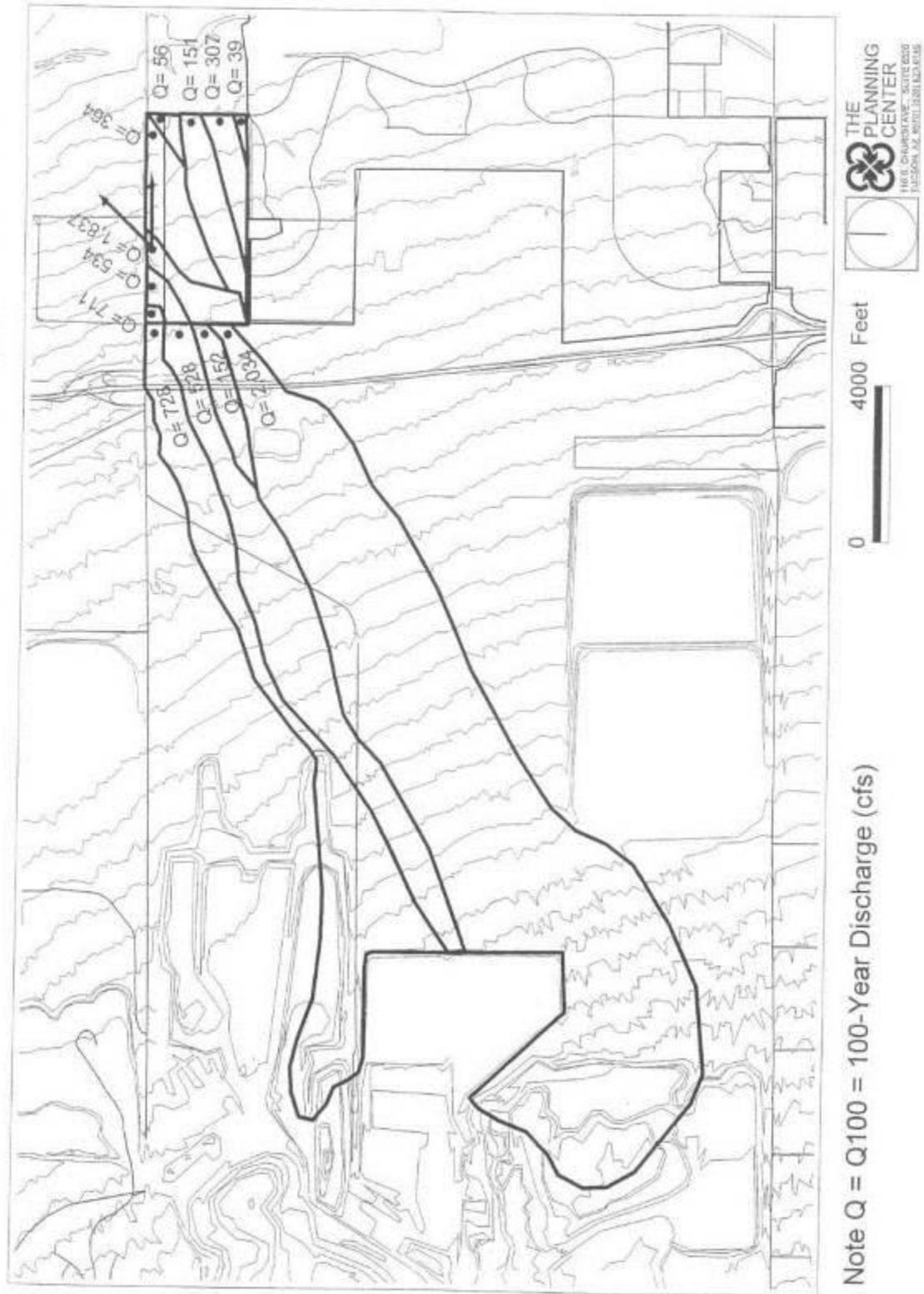
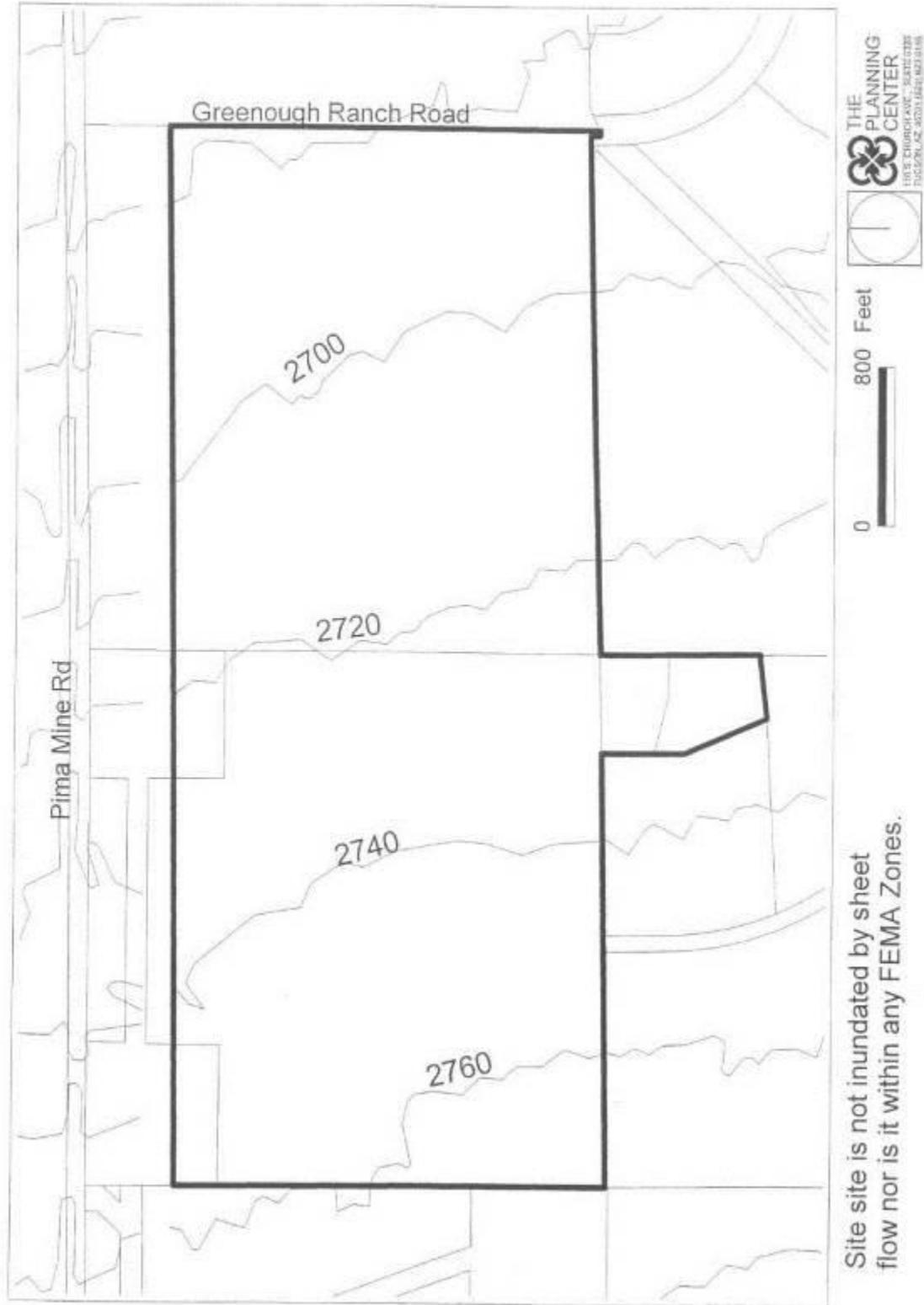


Exhibit VII-C.3: Existing Flood prone Areas



D. Vegetation

1. Vegetation Inventory and Description:

The Specific Plan area is located in the Arizona Upland Subdivision of the Sonoran Desert Scrub biome. It is within the PaloVerde-Cacti-Mixed Scrub Series. Also located within this Sonoran biome are small insignificant isolated areas of streamside association, Sonoran Riparian Scrubland. The plant species within the drainage ways are the same as those found in the adjacent desert scrub, low to medium height, but are typically not as sparse as the surrounding desert scrub. (See Exhibit VII-D.1: Vegetation Communities Map).

- a. Vegetation Communities and Associations: The primary species with this area is *Cercidium* and *Opuntia*. Other vegetation found on site within this series includes:

<i>Cercidium microphyllum</i>	Foothills Paloverde
<i>Prosopis velutina</i>	Velvet Mesquite
<i>Acacia greggi</i>	Catclaw
<i>Larrea tridentate</i>	Creosotebush
<i>Baccharis sarothroides</i>	Desert Broom
<i>Ferocactus wislizenii</i>	Barrel Cactus
<i>Opuntia spp.</i>	Cholla
<i>Opuntia spp.</i>	Prickly Pear
<i>Carnegiea gigantean</i>	Saguaro

A variety of forbes and grasses also exist on the site.

- b. Federally Listed and Threatened Endangered Species: The Pima pineapple cactus (*Coryphantha scheeri robustispina*) is a state and federally protected species known in the northern vicinity of the project. There are a few scattered saguaros that may be salvageable, but there are no significant stands of the species on the site.

There are no Class I Habitat areas, as classified by the Critical and Sensitive Biological Communities Study and Map, Shaw, et al, completed for the Pima County transportation and Flood Control District. Class II Habitat areas that are major segments of riparian habitat not linked with protected areas do exist on the site. The Class II Habitat follows the wash cutting across the northwestern corner of the site.

2. Vegetative Densities:

Vegetative densities on-site were measured from aerial photographs and verified during field investigations. Densities are expressed as percent canopy coverage. Vegetative canopy coverage for shrubs and trees were calculated. Grasses and other groundcovers were not considered. (See Exhibit VII-D.2: Vegetation Density Map). Vegetation densities were divided into three categories:

- High Density 71% - 100%
- Medium Density 31%-70%
- Low Density 0%-30%

The Rancho Sahuarita site is well suited for development. The site's natural drainage patterns have been altered by the construction of I-19 and the mines. Consequently, the quantity and quality of vegetation have been decreased. The majority of the site contains low to medium density coverage. Due to the low vegetative density, the site's desert scrub vegetation and negligible riparian communities provide limited wildlife value. There are no significant stands of saguaros on-site. Additionally, a large portion of the middle of the site has been distributed by agricultural activities, and has minimal vegetative densities.

Exhibit VII-D.1: Vegetation Communities Map

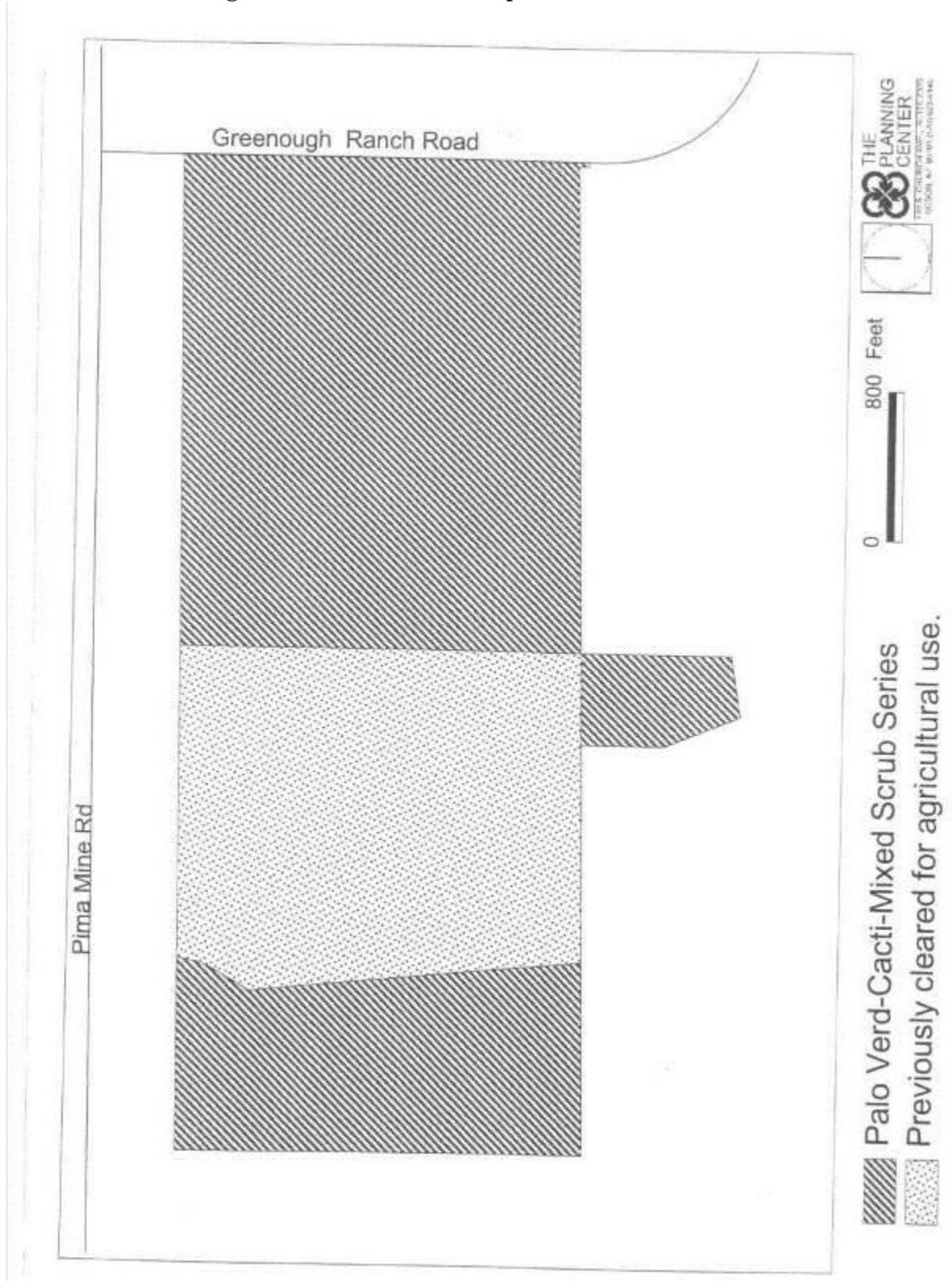
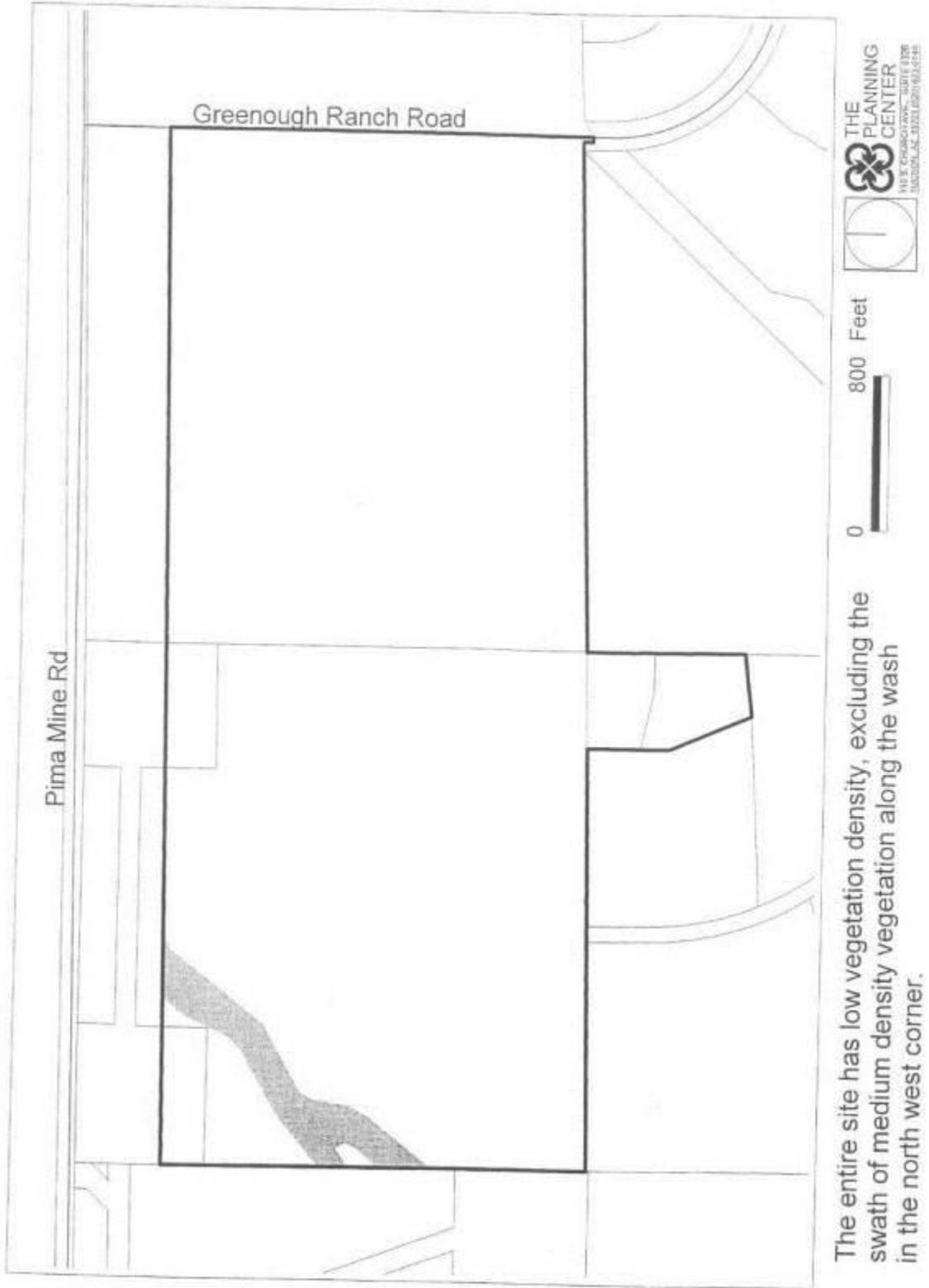


Exhibit VII-D.2: Vegetation Density Map



E. Wildlife

1. Letter from the Arizona Game and Fish Department:
 - a. State-listed Threatened or Endangered Species: There are no known locations of any special status animal species on the site. Habitats in the vicinity could potentially support two federal Category 2 candidate species the desert tortoise (*Gopherus agassizii*) and the yellow nosed cotton rat (*Sigmodon ochrognathus*). Additionally, the Great Plains narrow-mouthed toad (*Gastrophryne olivacea*), a state candidate species, may occur on the site. (See Appendix C: Game and Fish Letter).
 - b. Density/Diversity of Species: Not Applicable. The project area is considered to have low wildlife densities.
 - c. Aquatic or Riparian Ecosystem: Wildlife is dependent upon the presence of suitable habitat. Critical and Sensitive Biological Communities Study and Map by Dr. Shaw, et al, has identified and classified important habitat in the Tucson Basin in a study done for the Pima County Department of Transportation and Flood Control.

The Class II critical and Sensitive Habitats are of limited importance due to the overall lack of significant diversity of species and lack of large numbers of individuals. These habitats are not linked with protected areas and do not support a large diversity of wildlife.

F. Soils

1. **Soils Testing**: The study area has been mapped by the Soil Conservation Service. The site's surface is composed of 4 different major soil series as identified and mapped (See Exhibit VII-F.1: Soils Map).

Arizo Series

The Arizo Series consists of excessively drained very gravelly loamy sands and very gravelly sands that contain strata of very gravelly loam. These soils formed in material laid down by rapidly flowing water on flood plains and alluvial fans. Slopes are 0 to 1 percent. The vegetation is mesquite, paloverde, creosotebush, and annual plants. The soil is moderately alkaline throughout.

Permeability of Arizo soils is very rapid. Runoff is very slow, erosion hazard slight. Primary uses are for wildlife/desert range and material for engineering work. Small areas are used for irrigated crops. Arizo soils are suitable for development with suitable engineering to reduce the flooding hazard.

Hayhook Series

The Hayhook series consists of deep, well-drained sandy loam soils on gently sloping fan terraces. It is formed of alluvium derived predominately from granite. Slopes are 1 to 5 percent. Vegetation includes burroweed, mesquite, paloverde, and annual grasses.

Permeability is moderately rapid. Runoff is medium. Water erosion hazard is slight to moderate; wind erosion hazard is moderately high. Hayhook soils are used for rangeland and urban development, and are suitable for development.

Sonoita Series

The Sonoita series consists of well-drained soils having a sandy loam and light sandy clay loam subsoil. These soils formed on old alluvial fans in mixed material high in quartz and feldspar. Slopes are 0 to 3 percent. Vegetation includes annual and perennial grasses and weeds, scattered mesquite, and cholla and other kinds of cactus. The profile is neutral to moderately alkaline throughout, and generally non-calcareous to a depth of 20 to 36 inches.

Permeability is moderate. Runoff slow to medium, with slight to moderate erosion hazard. Sonoita soils are used for irrigated crops, desert range, wildlife, water supply, urban development, and material for engineering work. Sonoita soils are suitable for development.

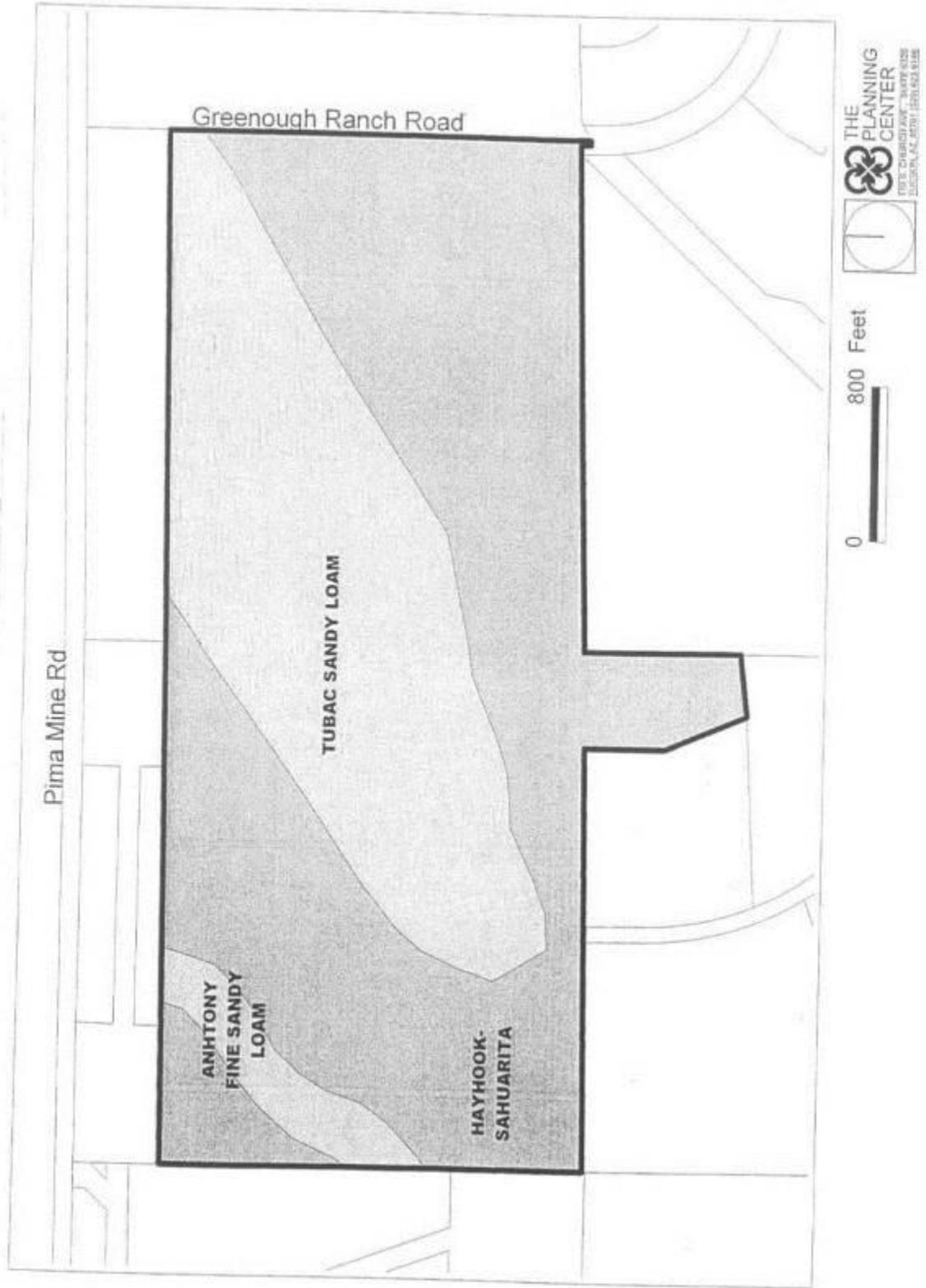
Tubac Series

In the Tubac series are well-drained soils that have a clay subsoil. These soils formed in old alluvium on terraces and fans. Slopes range from 0 to 3 percent. The vegetation is annual and perennial grasses and weeds, mesquite, whitethorn, cactus, paloverde, creosotebush, ironwood, and saguaro. The profile is neutral to moderately alkaline. It is non-calcareous to a depth of 12 to 24 inches and calcareous below.

Permeability of these soils is slow. Runoff is medium and the erosion hazard is moderate. Tubac soils are used for irrigated crops, desert range, wildlife, and water supply. Irrigated crops are cotton, sorghums, barley, peanuts, and alfalfa. Tubac soils are suitable for development with proper

engineering to minimize its shrink-swell potential.

Exhibit VII-F.1: Soils Map



G. Viewsheds

1. Onto and Across the Site Viewshed:

- a. Onto and Across Adjacent Properties: The viewshed analysis was conducted by on-site and off-site reconnaissance, along with aerial photography and topographic interpretation. The viewshed analysis evaluates the post-development site’s impact to the views of adjoining properties.

There are no primary off-site views across the site which may be impacted by the proposed development. View analysis was made from 1 point along I-19, 1 point along Greenough Ranch Road, and 1 point from Pima Mine Road. All off-site vistas are seen above the canopy level of on-site vegetation. (See Exhibit II.G.1: Off-site Vistas) Mine tailings, one-half to the west are visible from all view points. The raised elevation of I-19 is visible from all viewpoints. Long Range vistas of the Santa Rita Mountains, 18 miles to the southeast, are visible from all vantage points, and offer an amenity opportunity for development.

- b. Views and Vistas from Beyond Adjacent Properties: The raised perspective allowed by Interstate 19 furnishes a view of the property. Due to the level site topography and the low vegetation height, the viewer tends to look beyond the sight from most perspectives.

2. On-site Visibility from Off-site:

The quality of on-site visibility from nearby off-site locations is dependent on several factors, such as topography, type of vegetation, and density of vegetation. The following criteria has been used to define areas of high, medium, and low visibility:

<u>HIGH</u>	<u>MEDIUM</u>	<u>LOW</u>
<ul style="list-style-type: none"> • Steep slopes, ridgetops, promontories, rock outcrops • Minimal perimeter vegetative variety to buffer visibility into site 	<ul style="list-style-type: none"> • Low/moderate slopes; few rock outcrops • Medium degree of perimeter vegetative variety/density limiting visibility into site 	<ul style="list-style-type: none"> • Little/no slope • High degree of vegetative density/variety, perimeter vegetation dense limiting visibility into site

Exhibit II-G.2: On-Site Visibility depicts areas of low, medium, and high visibility at Rancho Sahuarita Pod 35 Pod 36. Based on the above criteria, the Rancho Sahuarita Specific Plan area has low and medium on-site visibility.

Exhibit II.G.1: Off-Site Vistas

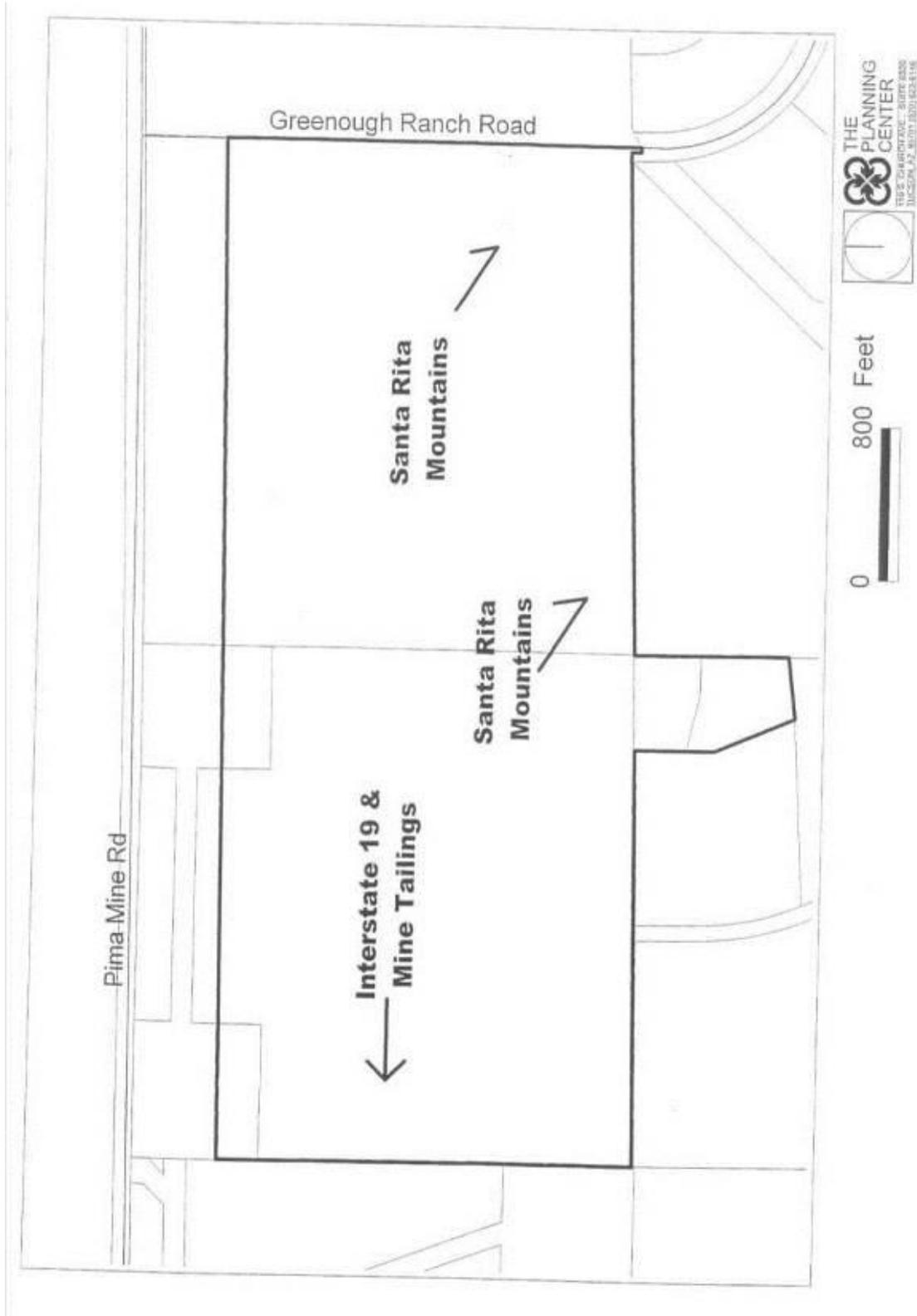
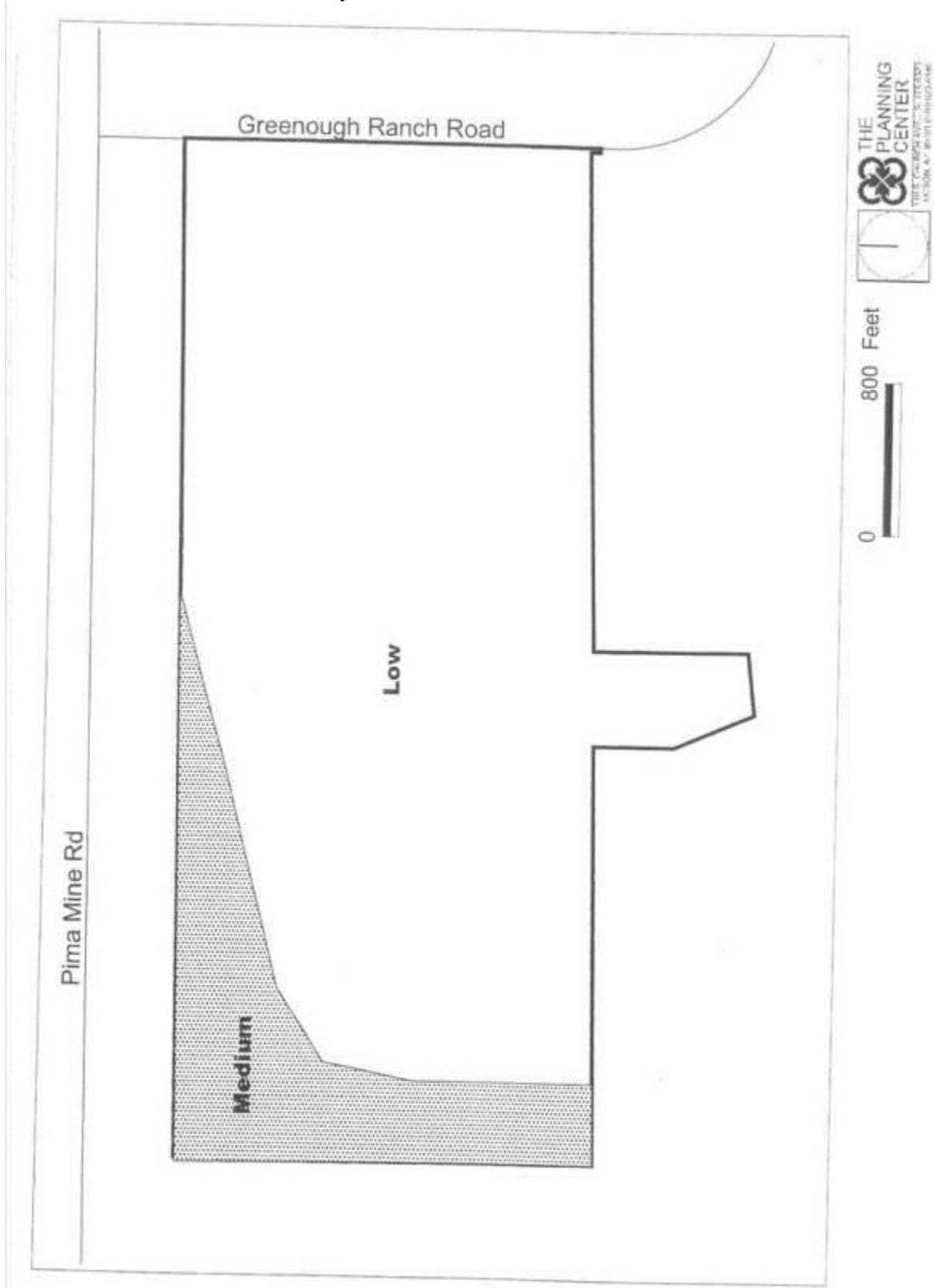


Exhibit II-G.2: On-Site Visibility



H. Traffic

1. Existing and Proposed Off-site Streets:

The Rancho Sahuarita Specific Plan is regionally linked to both Pima and Santa Cruz County by Interstate 19, that parallels the property. Interstate 19 is the major connecting highway from Tucson and Interstate 10 south to Nogales, Arizona and Sonora, Mexico.

The relevant connection to Interstate 19 for Development Pod 35 & 36 will take place via the existing Pima Mine Road interchange. Currently, Pima Mine Road and Greenough Ranch Road provide access to Pod 35 & 36. Greenough Ranch Road will be improved to accommodate increased traffic generated from this site.

I. Sewers

1. Location of Existing Public Sewers: There are existing public sewer facilities within the plan area that allow for a permanent long-term solution for wastewater treatment. After preliminary investigations were concluded the following treatment alternative has been selected and implemented:

- a. The construction of an on-site treatment facility is the best alternative for Rancho Sahuarita. Currently Phase 1 of the Sahuarita Wastewater Treatment Facility (SWTP) exists. The phasing of the on-site treatment plant is further described in section III.E.2. This solution appears to be the best long term solution for the sewer basin of Rancho Sahuarita, and possibly even the greater Sahuarita town limits.

J. Schools

1. Existing/Proposed Schools:

The Rancho Sahuarita Specific Plan area is located within the Sahuarita School District. Four schools that currently serve the region are located on a site on Sahuarita Road and are shown of Exhibit II-J.1:Traffic/Sewer/Schools/ Recreation. These schools are:

School

Sahuarita Primary
350 W. Helmet Peak Road
Sahuarita, AZ 85629

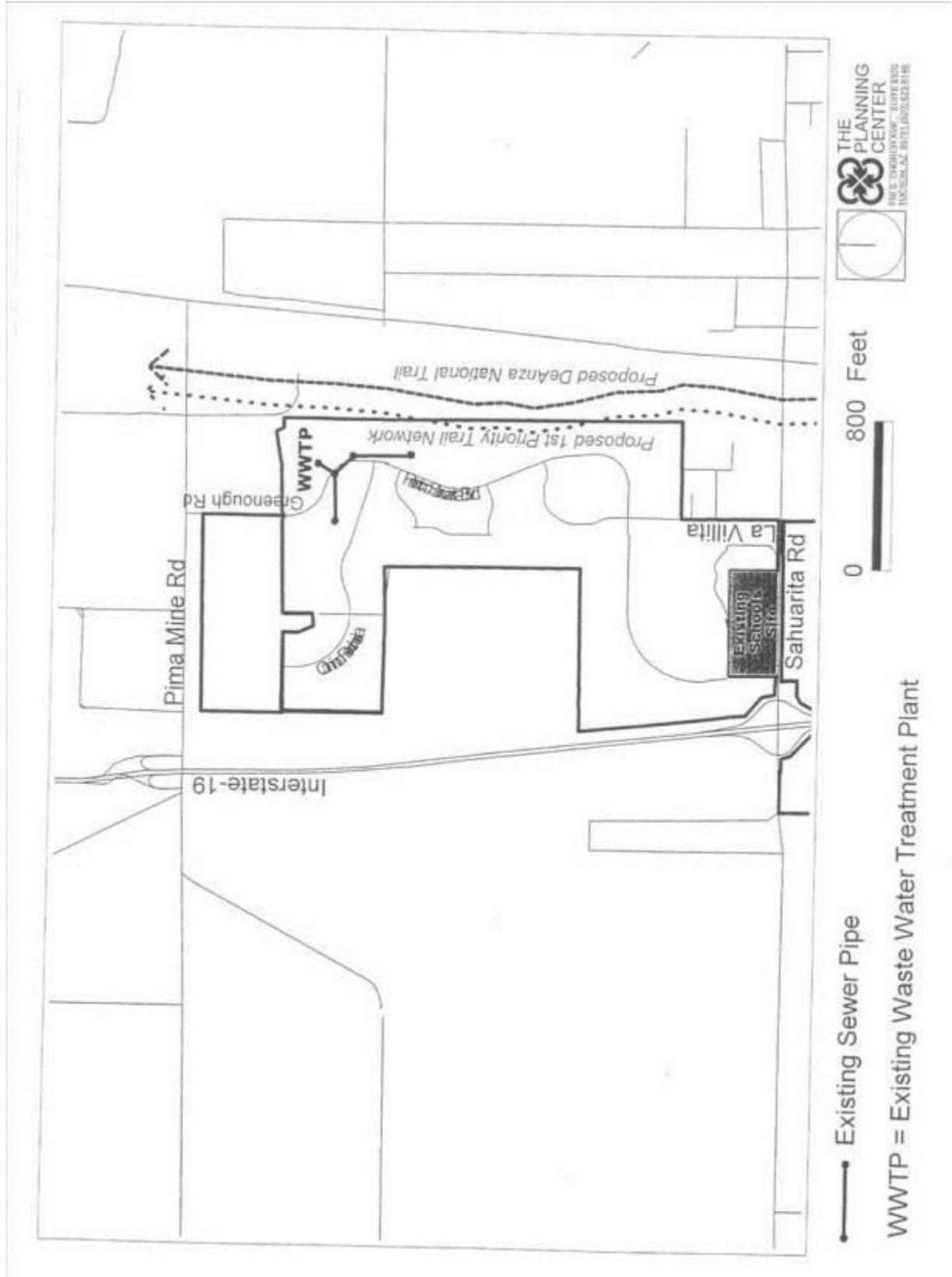
Sahuarita Intermediary
350 W. Helmet Peak Road
Sahuarita, AZ 85629

Sahuarita Junior High
350 W. Helmet Peak Road
Sahuarita, AZ 85629

Sahuarita Senior High
350 W. Helmet Peak Road
Sahuarita, AZ 85629

Current Sahuarita School enrollments are below facility capacities.

Exhibit II-J.1: Traffic/Sewer/Schools/Recreation



K. Recreation and Trails**1. Parks, Recreation Areas, and Adopted Public Trails:**

The Santa Rita Mountains, to the east of the subject property, contain a portion of the Coronado National Forest. Of special interest is the Madera Canyon recreation area, located approximately 16 miles to the southeast of the site. This area includes three campgrounds, several picnic facilities and a trail system. Trail heads connect to a system which leads to the summit of 9,453 foot Mt. Wrightson.

Tubac Presidio State Historic Park is located 25 miles to the south on Interstate 19 and provides a picnic ground, visitor's center, archaeological display and historic schoolhouse. Tumacacori National Monument, located 29 miles to the south, is the site of a former Spanish mission and includes trails, picnic areas and an interpretative museum. San Xavier Mission lies approximately 7 miles northwest of the site.

Anamax Park, with lighted athletic fields, play areas, and ramadas is due west of the site across Interstate 19. (See Exhibit II-J.1: Traffic/Sewer/Schools/Recreation). Approximately three miles east of the Specific Plan site is Sahuarita District Park. Also, there are a number of private and public golf courses within the Green Valley area.

Public trails located in the vicinity of the site include Local Trail No. 294 which uses the existing El Toro Road right-of-way. The Eastern Pima County Trail System Master Plan also shows two proposed loop trails, the Helmet Peak Trail No. 286, both of which run north of the El Toro Road Trail.

The Santa Cruz River is a candidate for a first priority Primary Trail according to the 1989 *Eastern Pima County Trail System Master Plan*. When constructed, this planned linear park will provide multi-use recreational opportunities and complete accessibility.

A portion of the site adjacent to the west bank of the Santa Cruz River may have been the route of the Juan Bautista de Anza expedition that set out from Tubac, Arizona to found the city of San Francisco, California. The Rancho Sahuarita site may be near the site of Llano Grande, where Juan Bautista de Anza and his 1776 expedition camped the second night of their journey. Due to the historical significance, a proposed national historic trail (The De Anza Trail), as shown on Exhibit II-J.1, may impact a small portion of the site. The portion of the site impacted by the proposed trail is currently designated as open space (see Exhibit III-C.1). The Master Developer is not obligated to build this facility, but will work on a cooperative basis with the Town of Sahuarita.

L. Cultural/Archaeology/Historic Resources

Letter from Arizona State Museum: The northern portion of this site has been surveyed according to the Arizona Archaeological Site Survey Files. The records indicate that a narrow strip along the northern edge of the property (related to the Pima Mine Rd. Recharge) was surveyed in 1992. The survey found one historical period site (AZ BB:407 (ASM), a disturbed area containing historical period trash. The remainder of the property has not been examined for archaeological resources.

The letter from the Arizona State Museum concerning the recorded survey on the property may be found at the end of this document. The Arizona State Museum recommends an on-the-ground survey be conducted prior to any ground modification activities.

M. Air Quality

Pollutants that affect air quality are of great concern to the residents of the Tucson metropolitan area. Recently, air quality has become an important consideration for planning and analyzing growth in eastern Pima County.

Air quality is affected by air pollution and climatic conditions. Air pollution is a complex combination of gases and particles from a variety of sources that can cause health and aesthetic problems. The Environmental Protection Agency (EPA) has set standards for safe levels of common pollutants.

Common air pollutants in the Tucson metropolitan area are: carbon monoxide (CO); Ozone; Nitrogen Dioxide (NO₂); Sulfur Dioxide (SO₂); Sulfates (SO₄); Non-Methane Hydrocarbons (NMHC); Lead (Pb); and particulate matter ten microns or less (PM10). Of these, carbon monoxide, ozone, and PM10 cause the greatest concern.

Carbon monoxide is an odorless, invisible gas produced by incomplete combustion of fuels. Ozone is the principle constituent of photochemical smog (the "brown cloud"). In addition to being a health hazard for humans, ozone causes damage to vegetation. Ozone is formed by the reaction of nitrogen oxides and hydrocarbons in the presence of sunlight. Particulate matter consists of suspended solids or liquids less than ten microns. PM10 affects visibility and is a health hazard.

Discussion: Rancho Sahuarita is located in the predominant air current path along the major system paths which affect the greater Tucson Valley. There are no significant physical features on the site to shift existing air movements.

In general, the air pressure patterns flow from the Santa Cruz River Valley from the southeast to the northwest in the evenings and early mornings, and northwest to southeast or westerly in the afternoon. The Santa Cruz geological depression has a minor effect on wind direction by channeling air flow along the low valley from the southeast to northwest.

Generally, the Rancho Sahuarita area enjoys some of the best air quality in the Tucson Basin. The air patterns from the Santa Cruz River Valley today tend to clean the air of any dust or auto emission particulates in the air. However, dust from the mine tailings do cause periodic problems when winds are from the west.

N. Composite Map

The purpose of the composite map is to identify areas on-site with multiple site characteristics which may require special evaluation in regards to proposed development. The Composite Map, Exhibit II-N.1, graphically illustrates the synthesis of site opportunities and constraints identified in the Inventory and Analysis section.

The site characteristics identified on the composite map are those specified in the "Town of Sahuarita Site Analysis Requirements." The following characteristics are considered:

- 1. Existing Uses:**
 - Utility easements on site
 - Power transmission lines
 - Railroad tracks

- 2. Topography:**
 - Protected peaks and ridges
 - Rock outcrops
 - Slopes between 15 percent and 25 percent
 - Slopes greater than 25 percent

- 3. Hydrology:**
 - 100-year floodplains with a discharge greater than or equal to 100 cfs
 - Sheet flooding areas with flood depths greater than or equal to one foot
 - Federally mapped floodways and floodplains

- 4. Vegetation:**
 - Areas of high vegetative density
 - Areas where vegetation is needed for soil stabilization

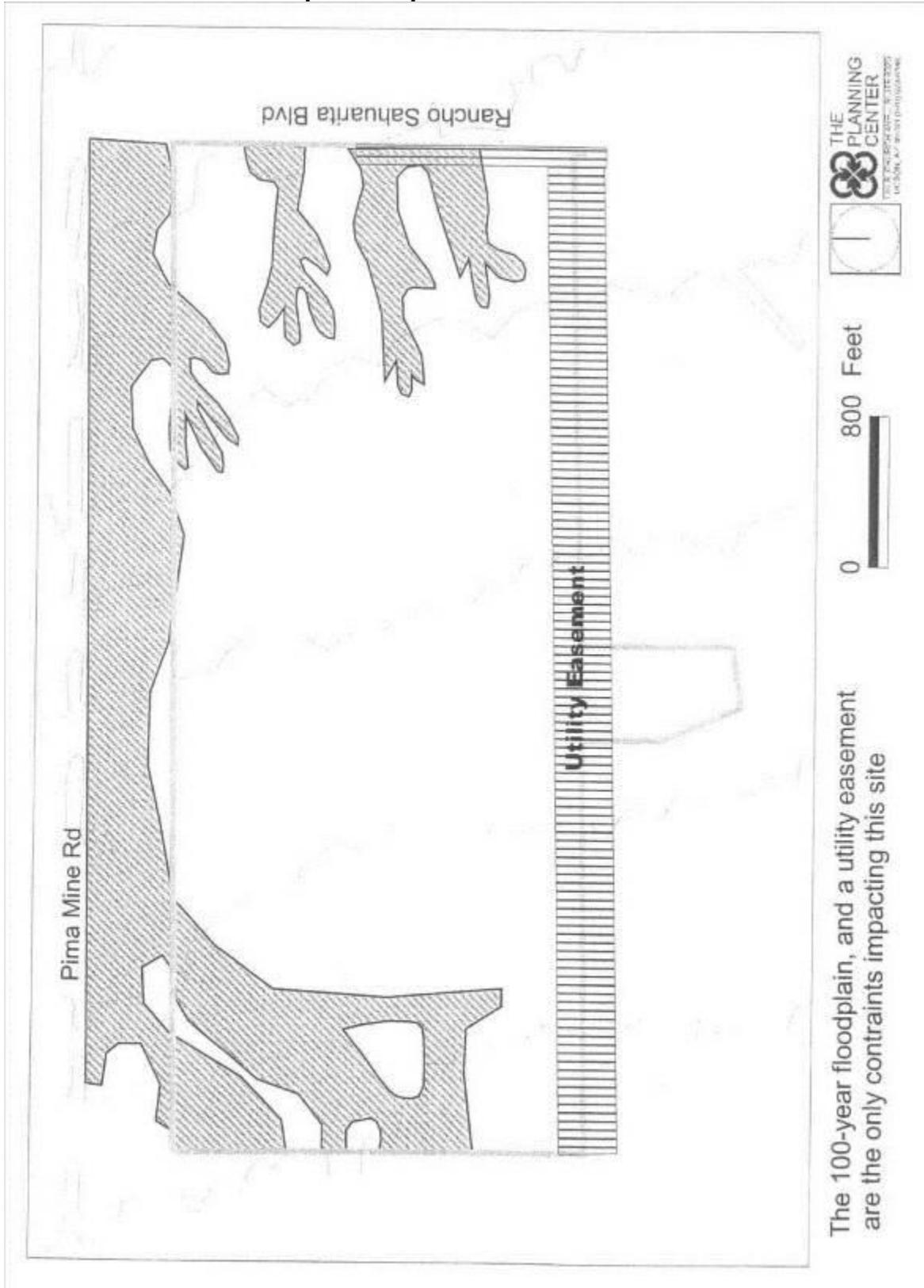
5. Wildlife:

- Wildlife habitats of state-listed threatened or endangered species

6. Viewsheds:

- On-site areas that are highly visible from off-site locations. The majority of the site is appropriate for development with preservation and/or mitigation plans for hydrology and vegetation.

Exhibit II-N.1: Composite Map



Arizona State Museum Letter:

Arizona State Museum
P.O. Box 210026
Tucson, AZ 85721-0026
(520) 621-6302
FAX: (520) 621-2976



February 3, 2003

Josh Pope, Planner
The Planning Center
110 South Church St.
Tucson, Arizona 85701

Re: Archaeological Records Check related to Specific Plan Amendment (RSA-17) for Rancho Sahuarita for property south of Pima Mine Rd, in the NE ¼ Section 35 and the of NW ¼ of Section 36, T16S, R13E, Salt and Gila River Baseline and Meridian

Dear Mr. Pope:

On February 3, 2003, you requested for an archaeological records check related to Specific Plan Amendment (RSA-17) for Rancho Sahuarita for property south of Pima Mine Rd, in the NE ¼ Section 35 and the of NW ¼ of Section 36, T16S, R13E, Salt and Gila River Baseline and Meridian. I have consulted our records with the following results. The Arizona State Museum (ASM) archaeological records indicate that a narrow strip along the northern edge of the property (related to the Pima Mine Rd. Recharge) was surveyed in 1992. It is unclear whether this survey was within or just north of the northern boundary of the above-referenced property. The survey found one historical period site (AZ BB:407(ASM), a disturbed area containing historical period trash. The remainder of the property has not been examined for archaeological resources. The ASM therefore recommends an archaeological surface inspection of your project area to determine if important yet unreported prehistoric or historic sites are on the land. Please consult the list of archaeological contractors for 2003 enclosed in my previous letter.

Archaeological surface inspection required under city or county ordinance, or a federal regulation, will require a written report describing the results of the surface inspection and will include recommendations. The archaeologist you select should prepare your report using the standards titled: *Standards For Conducting and Reporting Cultural Resource Surveys*. Most contractors in Arizona have a copy of these standards. You are responsible for providing the report to the appropriate office requiring the inspection. When surface inspections are required on private lands under city or county ordinance the archaeologist will also submitted copies of your report to the appropriate archaeological site file office. If you have selected an archaeologist from the list provided, that contractor knows where and when to submit reports.

If you have questions or need further assistance please contact me.

Sincerely,

Su Benaron
Assistant Permits Administrator
520-621-2096 or FAX at 520-621-2976
sbenaron@email.arizona.edu



Ownership and Tax Code:

<u>Owner</u>	<u>Tax Code</u>
ASARCO Inc	30308002D
ASARCO Inc	30308002F
ASARCO Inc	303060040
David & Karen MacKay	30308004C
David & Karen MacKay	30308004B

Legal Description:

Stantec Consulting Inc.
201 North Bonita Avenue
Tucson AZ 85745-2999
Tel: (520) 750-7474 Fax: (520) 750-7470
stantec.com



Stantec

**Proposed Description of Region 10
Rancho Sahuarita**

DESCRIPTION of a parcel of land located in Sections 35 and 36, Township 16 South, Range 13 East, Gila & Salt River Meridian, Pima County Arizona. Said parcel being more fully described as follows:

PARCEL 1:

All of the Northeast Quarter of Section 35, Township 16 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona;

EXCEPTING therefrom any portion thereof lying within the plat of RANCHO SAHUARITA, as recorded in Book 52 of Maps and Plats, Page 77, Pima County Records, Pima County, Arizona;

FURTHER EXCEPTING therefrom the following described parcel:

BEGINNING at a found GLO brass cap marking the Northeast corner of Section 35, Township 16 South, Range 13 East, Gila and Salt River Meridian;

Thence South 00°11'23" West along the East line of said Section, a distance of 430.00 feet;

Thence North 89°48'29" West, a distance of 2676.18 feet to a point on the North-South center Section line, that bears South 00°10'08" East, a distance of 430.00 feet from the North Quarter corner of said Section 35;

Thence along the North-South center Section line, North 00°10'08" West, a distance of 430.00 feet to a 1" aluminum cap marking the North Quarter corner of said Section 35;

Thence South 89°47'24" East, a distance of 1352.13 feet to a GLO brass cap marking the East 1/16 corner of said Section 35;

Thence South 89°49'36" East, a distance of 1326.74 feet to the TRUE POINT OF BEGINNING;

PARCEL 2:

All of the Northwest Quarter of Section 36, Township 16 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona;

Buildings
Environment
Industrial
Transportation
Urban Land

Legal Description (continued):

November 3, 2003
Reference: 85612534-04 Rancho Sahuarita Region 10 ASARCO Property
Page 2 of 2

EXCEPTING therefrom any portion thereof lying within the plat of RANCHO SAHUARITA, as recorded in Book 52 of Maps and Plats, Page 77, Pima County Records, Pima County, Arizona;

FURTHER EXCEPTING therefrom the following described parcel:

BEGINNING at a found GLO brass cap marking the Northwest corner of Section 36, Township 16 South, Range 13 East, Gila and Salt River Meridian;

Thence North 89°18'03" East, a distance of 1311.41 feet to a GLO brass cap marking the West 1/16 corner of said Section 36;

Thence North 89°08'36" East, a distance of 1308.06 feet to a 2.5" aluminum cap marking the North Quarter corner of said Section 36;

Thence South 00°05'59" West along the North-South center Section line, a distance of 430.00 feet;

Thence South 89°13'22" West, a distance of 2621.64 feet to a point on the West line of said Section, that bears South 00°11'23" West, a distance of 430.00 feet from the Northwest corner of said Section 36;

Thence along the West line of said Section, North 00°11'23" East, a distance of 430.00 feet to the **TRUE POINT OF BEGINNING**;

PARCEL 3:

All that property as conveyed to David E. Mackay and Karen A. Mackay by Warranty Deed as recorded in Docket 11622, Page 579 and Docket 11757, Page 3693, Pima County Records, Pima County, Arizona.

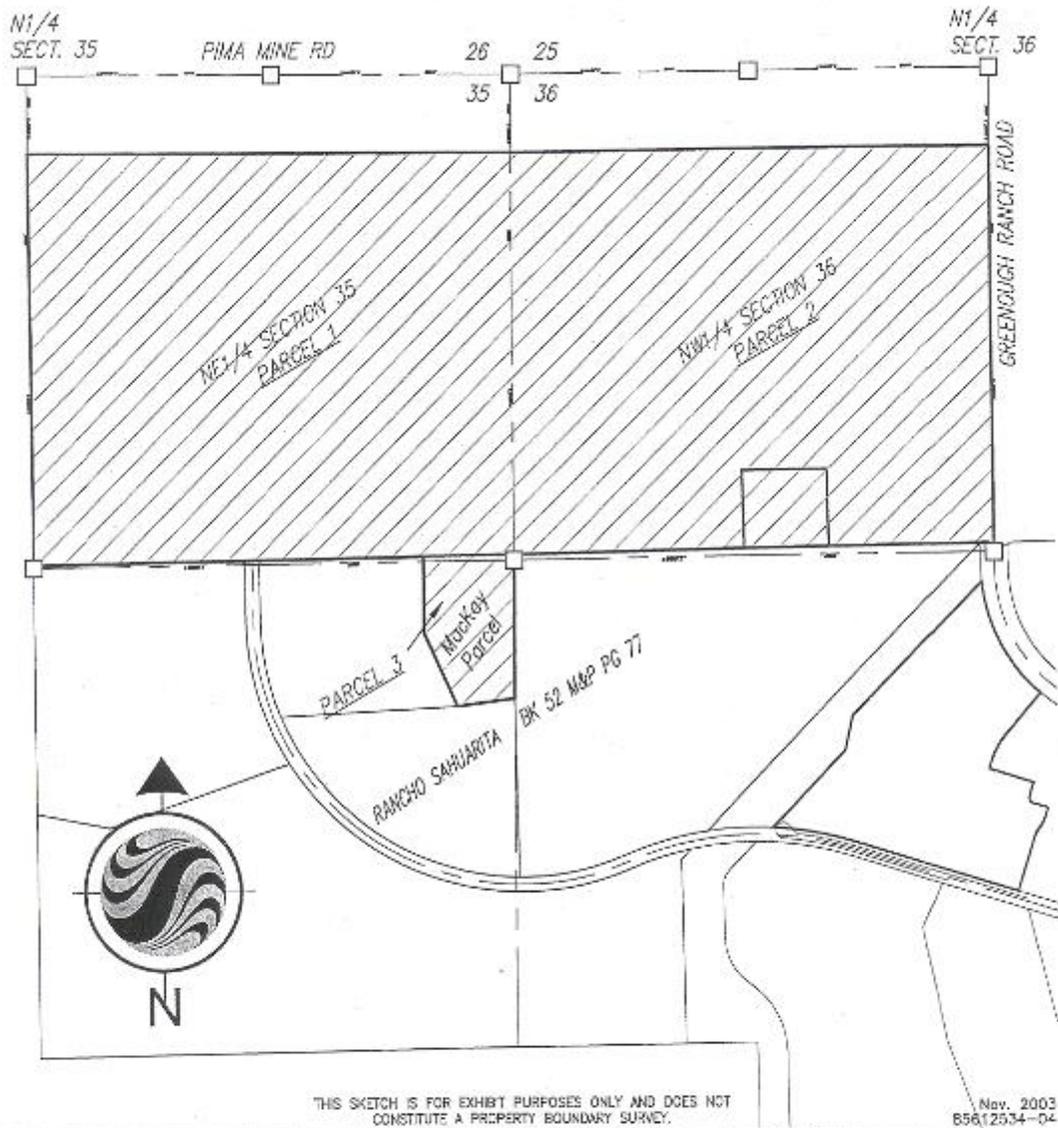
Said parcel containing an approximate area of 12,110,313.97 square feet or 278.01 acres of land, more or less.

Prepared by David M. Seese, RLS
Prepared on November 3, 2003
Prepared for and on behalf of Stantec Consulting Inc.
Project Number: 85612534-04



sem V:\0265\active\85602534\Legal\Plat\p04d_14q_10_031103.doc

Legal Description (continued):



Stantec Consulting
 201 North Bonita Ave
 Tucson AZ U.S.A.
 85745-2999
 Tel. 520.750.7474
 Fax. 520.750.7470
 www.stantec.com

Client/Project
 RANCHO SAHUARITA LLC
 SECTION 35, T18S, R13E, G&SRM
 SECTION 36, T18S, R13E, G&SRM

Figure No.
 2.0

Title
 Legal Description Exhibit
 Region 10

Appendix M: 2009 Amendments Legal Description

APPENDIX M

Legal Descriptions of Property Generally included in "The 2009 Amendments to the Rancho Sahuarita Specific Plan. Case # SA9-08-02"

(Note: See applicable Specific Plan Sections for Excluded Properties.)

Parcel 1:

Block 35B as recorded in Book 43 at Page 84 of Records and Surveys in the office of the County Recorder, Pima County, Arizona.

Parcel 2:

Entrada La Villita, Lots 1 through 74 and Common Areas "A", "B" and "C" recorded in Book 62 at Page 14 of Maps and Plats in the office of the County Recorder, Pima County, Arizona.

Parcel 3:

Marketplace at Rancho Sahuarita, Lots 4 through 8 recorded in Book 63 at Page 12 of Maps and Plats in the office of the County Recorder, Pima County, Arizona.

Parcel 4:

Block 45 of Rancho Sahuarita, Lots 3 through 5 recorded in Book 63 at Page 63 of maps and Plats in the office of the County Recorder, Pima County, Arizona.

Parcel 5:

Rancho Resort, Tract 1 and Tract 3, recorded in Book 56 at Page 78 of Maps and Plats in the office of the County Recorder, Pima County, Arizona.

Parcel 6:

Rancho Sahuarita, Block 26 recorded in Book 56 at Page 78 of Maps and Plats in the office of the County Recorder, Pima County, Arizona.

Parcel 7:

See attached Description of Region 6, Rancho Sahuarita.

Parcel 8:

See attached Description of Region 8, Rancho Sahuarita

00-0133

Stantec

Thence following the South right-of-way of Sahuarita Road, North 89°07'56" East a distance of 405.96 feet;

Thence North 00°52'04" West a distance of 25.00 feet;

Thence North 89°07'56" East a distance of 294.04 feet to a point of cusp;

Thence, departing said right-of-way along a tangent curve concave to the Southeast with a radius of 25.00 feet, a central angle of 90°04'46" (the chord of which bears South 44°05'33" West, a distance of 35.38 feet) for an arc length of 39.30 feet, to a point on the East right-of-way of Rancho Sahuarita Boulevard per said plat;

Thence following said right-of-way, South 00°56'50" East a distance of 284.26 feet;

Thence departing said right-of-way, South 75°12'54" East a distance of 238.00 feet;

Thence South 65°03'16" East a distance of 197.23 feet;

Thence South 52°16'09" East a distance of 227.75 feet;

Thence North 00°28'56" West a distance of 270.76 feet;

Thence North 88°33'15" East a distance of 8.90 feet to a point on the West right-of-way of Via Rancho Sahuarita per said plat;

Thence, following said right-of-way along a non-tangent curve concave to the East, having a radius of 260.00 feet, a central angle of 15°01'55" (the chord of which bears North 07°59'54" West, a distance of 68.02 feet), with a radial line in of North 74°29'09" East and a radial line out of South 89°31'04" West for an arc length of 68.21 feet;

Thence North 00°28'56" West a distance of 237.98 feet;

Thence, along a tangent curve concave to the Southwest, with a radius of 25.00 feet, a central angle of 90°23'08" (the chord of which bears North 45°40'30" West, a distance of 35.47 feet) for an arc length of 39.44 feet to a point on the South right-of-way of Sahuarita Road;

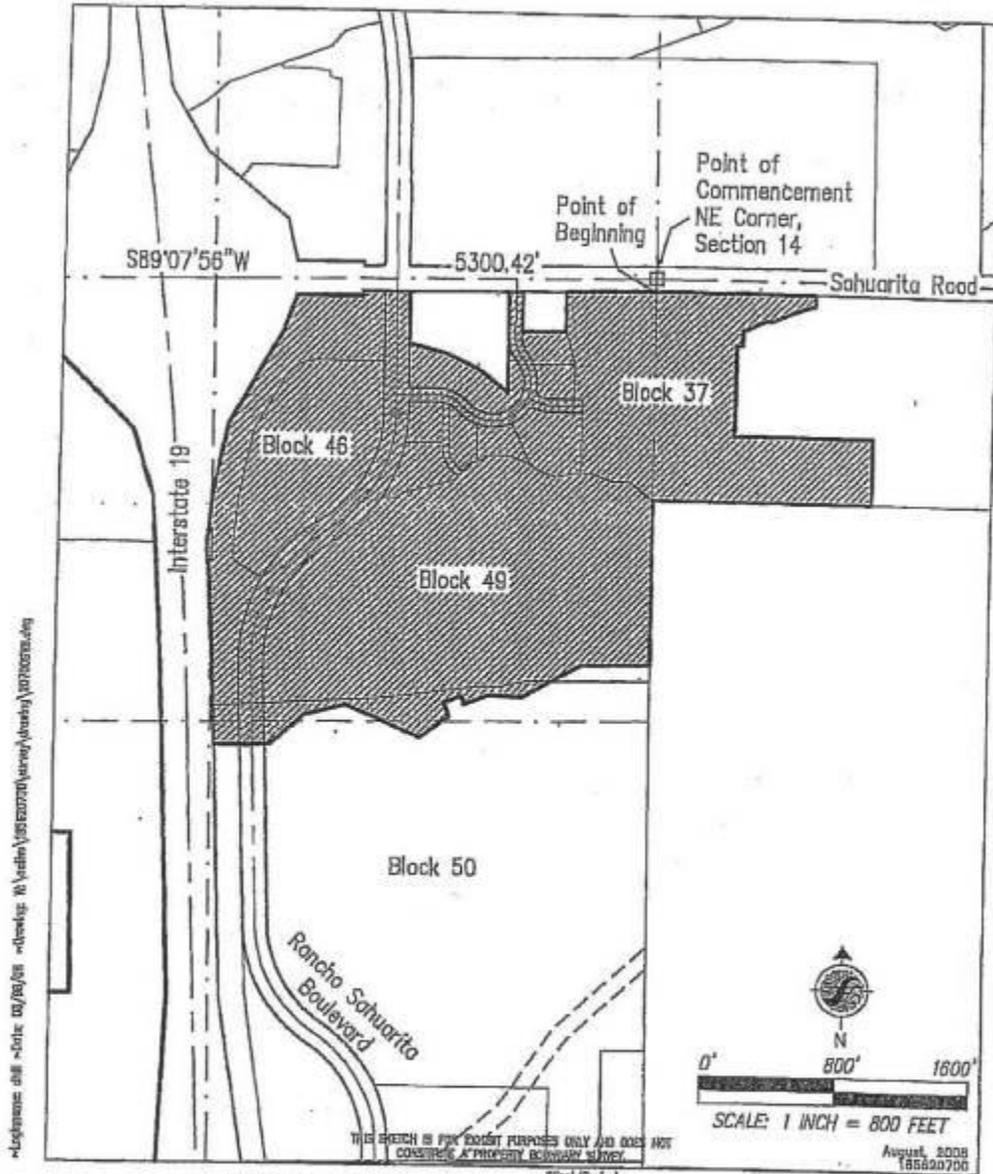
Thence following said right-of-way, North 89°07'56" East a distance of 105.17 feet;

Thence departing said right-of-way, South 00°28'56" East a distance of 237.00 feet;

Thence North 89°07'56" East a distance of 270.00 feet;

Thence North 00°28'56" West a distance of 237.00 feet to a point on the South right-of-way of Sahuarita Road;

1007000



Exp: 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09

08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09 08/01/09

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 85745-2999
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 Fax. 520.750.7470
 www.stantec.com

Stantec

Client/Project
 RANCHO SAHUARITA
 T 17 S, R 13 E, SECTION 14
 PIMA COUNTY, ARIZONA

Figure No.
 1.0

Title
 REGION 8
 Description Exhibit

August 2008
 185820700

THIS SKETCH IS FOR EXIST PURPOSES ONLY AND DOES NOT
 CONSTITUTE A PROPERTY BOUNDARY SURVEY.

Stantec

Thence South 02°46'10" West a distance of 997.53 feet to found 3" ADOT aluminum cap on the North right-of-way of El Toro Road;

Thence following said right-of-way, South 89°05'28" West a distance of 2267.20 feet to a point on the east right-of-way of La Cañada Drive;

Thence following said right-of-way, North 00°46'39" West a distance of 1019.01 feet;

Thence departing said right-of-way, North 89°06'18" East a distance of 1744.72 feet;

Thence North 00°42'39" West a distance of 959.66 feet;

Thence South 89°07'13" West a distance of 349.54 feet;

Thence North 00°42'39" West a distance of 809.06 feet;

Thence South 89°07'13" West a distance of 1397.23 feet to a point on the east right-of-way of La Cañada Drive;

Thence following said right-of-way, North 00°46'28" West a distance of 2411.44 feet to the POINT OF BEGINNING.

Said parcel containing approximately 8,579,421 square feet or 196.958 acres of land, more or less.

Stantec Consulting accepts no liability for this description if it has been modified or reformatted in any way from its original format and content, or used for any purpose other than that for which it was originally intended.

Prepared by: Nathan L. Gardner, RLS 36786
Prepared on: August 8, 2008
Prepared for and on behalf of: Stantec Consulting, Inc.
Project Number: 185620700



Exp 12-31-09

ARIZONA LAND SURVEYORS ASSOCIATION

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Appendix N: POD 37- List of Prohibited Land Uses

1. Auto mechanical repair
2. Auto parking lot (within or without a building)
3. Automobile lubrication and oil change operation
4. Automobile tires, batteries and accessories installation
5. Billiard or pool hall
6. Church
7. Cleaning, dyeing, laundry collection agency
8. Garage
9. Laundromat, laundry and dry cleaning units
10. Liquor store, including wine tasting
11. Mechanical and electronic games arcade
12. School – Barber or beauty culture
13. School – Business
14. School – Dancing
15. School – Dramatic
16. School – Handicraft, painting or sculpture
17. School – Music
18. Trailer rental
19. Wholesale of oil

Appendix O: 2010 Amendments Legal Description



Exhibit A

May 12, 2009
Rancho Sahuarita (M. Bowman)
AS #09031

LEGAL DESCRIPTION

All that portion of the Sahuarita School District No. 30 parcel of land recorded in Docket 1178 at Page 497, Records of Pima County, Arizona, located within the Southeast Quarter of Section 11, Township 17 South, Range 13 East, Gila and Salt River Meridian, Pima County, Arizona, more particularly described as follows:

COMMENCING at the southeast corner of said Section 11; thence S 89°07'56" W along the south line thereof and the centerline of Sahuarita Road, 1,490.21 feet;

THENCE N 00°52'04" W, 75.00 feet to the northerly line of said Sahuarita Road and the easterly line of Rancho Sahuarita Boulevard and the POINT OF BEGINNING;

THENCE N 00°56'50" W along the easterly right-of-way of said Rancho Sahuarita Boulevard, 356.57 feet;

THENCE leaving said easterly right-of-way S 86°55'13" E, 366.06 feet;

THENCE S 82°56'40" E, 125.91 feet;

THENCE S 82°41'40" E, 127.67 feet;

THENCE N 43°53'00" E, 58.88 feet;

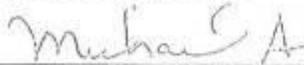
THENCE N 83°59'46" E, 66.80 feet;

THENCE S 20°38'59" E, 320.98 feet to the northerly right-of-way of said Sahuarita Road;

THENCE S 89°07'56" W, 818.92 feet to the POINT OF BEGINNING.

Containing 5.51 acres of land, more or less.

Prepared by
AMERSON SURVEYING, INC.


MICHAEL K. AMERSON, R.L.S.



